

Committee Agenda



**Epping Forest
District Council**

Council Housebuilding Cabinet Committee Monday, 13th October, 2014

You are invited to attend the next meeting of **Council Housebuilding Cabinet Committee**, which will be held at:

**Council Chamber, Civic Offices, High Street, Epping
on Monday, 13th October, 2014
at 6.30 pm .**

**Glen Chipp
Chief Executive**

**Democratic Services
Officer**

Jackie Leither Tel: 01992 564756
Email: democraticservices@eppingforestdc.gov.uk

Members:

Councillors D Stallan (Chairman), R Bassett, W Breare-Hall, Ms S Stavrou and G Waller

**MEMBERS ARE REQUESTED TO BRING THEIR COPIES OF
THE DESIGN STANDARDS HANDED OUT AT A PREVIOUS MEETING**

1. APOLOGIES FOR ABSENCE

2. DECLARATIONS OF INTEREST

(Assistant to the Chief Executive) To declare interests in any item on this agenda.

3. MINUTES (Pages 5 - 14)

To confirm the minutes of the last meeting of the Committee held on 21 August 2014.

4. TERMS OF REFERENCE (Pages 15 - 16)

To note the Terms of Reference of the Cabinet Committee, as amended by a Leaders Decision on the 27 August 2014.

5. FEASIBILITY REPORTS (Pages 17 - 446)

(The Director of Communities) To consider the attached report (CHB-007-2014/15).

6. ANY OTHER BUSINESS

Section 100B(4)(b) of the Local Government Act 1972, together with paragraphs 6 and 25 of the Council Procedure Rules contained in the Constitution require that the permission of the Chairman be obtained, after prior notice to the Chief Executive, before urgent business not specified in the agenda (including a supplementary agenda of which the statutory period of notice has been given) may be transacted.

In accordance with Operational Standing Order 6 (non-executive bodies), any item raised by a non-member shall require the support of a member of the Committee concerned and the Chairman of that Committee. Two weeks' notice of non-urgent items is required.

7. FUTURE MEETINGS

Members of the Cabinet Committee are asked to note the dates of the next two meetings:

Tuesday 18 November 2014; and
Thursday 18 December 2014.

8. EXCLUSION OF PUBLIC AND PRESS

Exclusion: To consider whether, under Section 100(A)(4) of the Local Government Act 1972, the public and press should be excluded from the meeting for the items of business set out below on grounds that they will involve the likely disclosure of exempt information as defined in the following paragraph(s) of Part 1 of Schedule 12A of the Act (as amended) or are confidential under Section 100(A)(2):

Agenda Item No	Subject	Exempt Information Paragraph Number
Nil	Nil	Nil

The Local Government (Access to Information) (Variation) Order 2006, which came into effect on 1 March 2006, requires the Council to consider whether maintaining the exemption listed above outweighs the potential public interest in disclosing the information. Any member who considers that this test should be applied to any currently exempted matter on this agenda should contact the proper officer at least 24 hours prior to the meeting.

Confidential Items Commencement: Paragraph 9 of the Council Procedure Rules contained in the Constitution require:

- (1) All business of the Council requiring to be transacted in the presence of the press and public to be completed by 10.00 p.m. at the latest.
- (2) At the time appointed under (1) above, the Chairman shall permit the completion of debate on any item still under consideration, and at his or her discretion, any other remaining business whereupon the Council shall proceed to exclude the public and press.
- (3) Any public business remaining to be dealt with shall be deferred until after the completion of the private part of the meeting, including items submitted for

report rather than decision.

Background Papers: Paragraph 8 of the Access to Information Procedure Rules of the Constitution define background papers as being documents relating to the subject matter of the report which in the Proper Officer's opinion:

- (a) disclose any facts or matters on which the report or an important part of the report is based; and
- (b) have been relied on to a material extent in preparing the report and does not include published works or those which disclose exempt or confidential information (as defined in Rule 10) and in respect of executive reports, the advice of any political advisor.

Inspection of background papers may be arranged by contacting the officer responsible for the item.

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EPPING FOREST DISTRICT COUNCIL COMMITTEE MINUTES

Committee: Council Housebuilding Cabinet **Date:** Thursday, 21 August 2014
Committee

Place: Council Chamber, Civic Offices, **Time:** 6.30 - 7.54 pm
High Street, Epping

Members Present: Councillors D Stallan (Chairman), W Breare-Hall, Ms S Stavrou, G Waller and C Whitbread

Other Councillors: Ms H Kane, Mrs J Lea, Mrs A Mitchell MBE and Ms G Shiell

Apologies: Councillor R Bassett

Officers Present: A Hall (Director of Communities), P Pledger (Assistant Director (Housing Property and Development)) and J Leither (Democratic Services Assistant)

Also in attendance: I Collins (Pellings LLP) and Dan Read (East Thames Group)

1. SUBSTITUTE MEMBERS

The Cabinet Committee noted that Councillor C Whitbread substituted for Councillor R Bassett.

2. DECLARATIONS OF INTEREST

(a) Pursuant to the Council's Code of Member Conduct, A Hall, Director of Communities declared a personal interest in agenda item 5, Acceptance of Tender – Council Housebuilding Phase 1, by virtue of being a Board Member of Riversmead Housing Association, for whom it was understood, that one of the tenderers was currently undertaking a building contract. The Director had determined that his interest was not pecuniary and would remain in the meeting for the consideration of the issue. However the Director stated that he would take no further part in the discussion, from the time that he became aware that he had an interest.

3. MINUTES

Resolved:

(1) That the minutes of the last meeting held on 17 April 2014 be taken as read and signed by the Chairman as a correct record.

4. TERMS OF REFERENCE

The Director of Communities presented the amended Terms of Reference of the Cabinet Committee and advised that there was an error in Paragraph 14 which could be amended by a Leader's Decision.

Decision:

(1) That the Leader of the Council be recommended to make a Leader's Decision to amend the Cabinet Committee's Terms of Reference. Members agreed at a meeting of the Council Housebuilding Cabinet Committee on 17 April 2014 that Ward Members would be consulted on New Development Naming, as well as local councils. This was omitted from the subsequent Leader's Decision and the last amended Terms of Reference that followed on 16 May 2014.

Reasons for Decision:

To ensure all members of the Cabinet Committee are aware of the amended Paragraph 14 of the Terms of Reference.

Other Options Considered and Rejected:

None.

5. ACCEPTANCE OF TENDER -COUNCIL HOUSEBUILDING PHASE 1

The Assistant Director (Housing Property and Development) presented a report to the Cabinet Committee regarding the tender process for the Design and Build Contract for Phase 1 of the Council Housebuilding Programme.

The Assistant Director advised that a tender exercise had been undertaken in accordance with Contract Standing Orders for the Design and Build Contract for Phase 1 of the Council Housebuilding Programme which had resulted in 4 out of 5 tenders being returned. The tenders were then evaluated by Pellings LLP, the Employer's Agent acting on behalf of the Council's Development Agent, East Thames. However, it was recommended by Pellings LLP that any appointment should be subject to the Council undertaking a financial evaluation of the tenderers that were being considered which should be carried out and reported to the Cabinet Committee in order for a decision to be made on which tender to accept.

He advised that whilst all 12 of the Contractors on the East Thames Contractors Framework List were contacted, only 2 expressed an interest to tender. Therefore, a further 3 Contractors known to Pellings LLP, as having the necessary experience of working on similar schemes of size and nature, were added as a result. All of those invited to tender were registered on Constructionline and therefore could be invited to tender under the Council's Contract Standing Orders. The Tender List was made up of the following Contractors:

- Countryside Properties Ltd – (Original East Thames Contractors Framework List)
- Hill Partnership Ltd – (Original East Thames Contractors Framework List)
- Broadway Construction Ltd – (Suggested by Pellings LLP)
- Bugler Developments Ltd – (Suggested by Pellings LLP)
- MK Building Contractors (UK) Ltd - (Suggested by Pellings LLP)

Tenders were issued to all 5 Contractors listed above, based on a JCT Design and Build Contract using the designs approved by the Area Plans Sub-Committee and the comprehensive set of Council's Employers' Requirements. The pre-tender estimate for the works was £3,119,000

The tenders were received on 27 June 2014 and opened by the Housing Portfolio Holder on the same day. The tenders were registered as follows:

Tenderer	Place	Tender Sum
MK Building Contractors (UK) Ltd	1	£3,066,839.00
Broadway Construction Ltd	2	£3,245,143.62
Hill Partnership Ltd	3	£3,503,274.83
Bugler Developments Ltd	4	£3,744,504.97
Countryside Properties Ltd		Did not Tender

Arithmetical checks were carried out by Pellings LLP on all of the tenders received, with the two lowest tenders being analysed in detail. The tenders submitted by MK Building Contractors (UK) Ltd and Broadway Construction Ltd as lowest and second lowest respectively represented fully compliant bids.

Whilst a detailed tender evaluation report has been received from Pellings LLP, it was their recommendation that any appointment was subject to financial checks by the Council. Due to the limited time available to undertake this in advance of the Agenda being published, it was recommended that a further evaluation into the financial credit standing of the lowest and second lowest tenderers be carried out, and the outcome reported to the Cabinet Committee before a decision was reached.

The Chairman proposed that the meeting then went into private session to discuss the confidential part of this report.

6. EXCLUSION OF PUBLIC AND PRESS

Decision:

(1) That the public and press be excluded from the meeting for the items of business set out below on the grounds they would involve the likely disclosure of exempt information as defined in the paragraphs of Part 1 of Schedule 12A of the Local Government Act 1972:

<u>Agenda Item No</u>	<u>Subject</u>	<u>Exempt Information Paragraph Number</u>
5	Acceptance of Tender for Council Housebuilding Phase 1 (Revised)	3

7. ACCEPTANCE OF TENDER - COUNCIL HOUSEBUILDING PHASE 1 (CONTINUED)

The Assistant Director (Housing Property & Development) stated that this report was to be read in conjunction with the report on the acceptance of tenders for Phase 1 of the Council Housebuilding Programme at Agenda Item 5. This report considered the financial credit rating of each of the two lowest tenderers and ranked them as either high medium or low risk.

Councillor Whitbread proposed that this item should be deferred to the Cabinet meeting on the 8 September 2014 and that a more detailed report on the financial standing of all the tenderers be prepared and considered. Councillor Waller seconded this proposal.

Decision:

(1) That this item be deferred and an updated report with more information on the financial standing of all the tenderers be submitted to the Cabinet at its next meeting on 8 September 2014.

Reasons for Decision:

The Council Housebuilding Cabinet Committee had agreed to tender the works using the East Thames Framework Agreement, based on a Design and Build Contract. Therefore, this tender exercise satisfied that decision and had been undertaken in line with the Council's Development Strategy and the Council's Contract Standing Orders. However, in view of the recommendation by Pellings LLP, although a financial review had been undertaken of the lowest tenderers, similar information was not available on all of the other tenderers.

Other Options Considered and Rejected:

To accept the lowest (or second lowest) tender without undertaking a financial check on the remaining tenderers. However, this could expose the Council to the potential risk of entering into a high profile contract with a company financially unfit to complete the works.

8. INCLUSION OF PUBLIC AND PRESS**Decision:**

(1) That the public and press be invited back into the meeting.

9. NAMING OF NEW COUNCIL HOUSING DEVELOPMENTS - PHASE 1

The Director of Communities presented a report to the Cabinet Committee with regard to the naming of new Council Housing Developments – Phase 1. He advised that at its meeting in April 2014 the Cabinet Committee recommended to the Leader of the Council that the Terms of Reference for the Cabinet Committee be amended to incorporate the future naming of developments undertaken through the Council Housebuilding Programme. Since the Phase 1 development in Waltham Abbey was shortly due to commence on site, it was necessary to set out the approach that was to be taken when agreeing the street and building names and addresses.

The Director advised that it was the Council's legal responsibility, exercised through the Director of Neighbourhoods, to ensure that all new properties were allocated an appropriate address as it facilitated:

- Emergency Services locating properties;
- Consistency of property based information across local government databases and within the community;
- Reliable delivery for post and other such deliveries; and
- Location of address for visitors to the area.

The Director stated that the Council had already got in place a Policy that aids developers in suggesting street and building names, for which the Council had the power to approve or reject under the Towns Improvement Clauses Act 1847 (S64 and S65) in conjunction with S21 of the Public Health Act Amendment Act 1907.

Taking account of the Council's Policy, it was recommended that the Cabinet Committee considered and agreed the approach they wished to take in respect of street naming for the Phase 1 development sites.

The Chairman proposed, on the initial suggestion of the Director, that the Cabinet Committee considered the name "John Scott Court", for the 9 new flats to be built at Harveyfields, Waltham Abbey, in recognition of the Council's former Chief Housing Officer and District Health and Housing Officer, who retired in 2007 after giving 29 years' loyal service to the Council and residents of the Epping Forest District.

Members had welcomed and supported this proposal.

Decision:

(1) That, following the consideration at its last meeting and the subsequent Leader's Decision, the Cabinet Committee's approach to the naming of new developments be clarified as follows:

(a) that, subject to the Cabinet Committee already agreeing a suitable name for new Council housing developments or names not being required (e.g. where existing numbering can be utilised), Town and Parish Councils be invited to submit a list of 5 street names / property names in preference order for new Council housing developments in their locality, having regard to the Council's Street Naming and Numbering Policy;

(b) that the relevant ward members be consulted on the list of names submitted by Town and Parish Councils; and

(c) that the names of new streets or properties be determined by the Cabinet Committee, having regard to the list of names put forward by the Town and Parish Councils and the views of ward members;

(2) That the ten converted self-contained flats at Marden Close, Chigwell be numbered 1 to 10 Marden Close, Lambourne Road, Chigwell - with odd numbers given to ground floor flats and even numbers given to first floor flats;

(3) That, at Faversham Hall, Chigwell, the two new ground floor flats be numbered 13-14 Faversham Close, Chigwell and the existing first floor flat be numbered 15 Faversham Close, Chigwell;

(4) That the new Council housing development comprising 9 flats at Harveyfields, Waltham Abbey be named "John Scott Court", after the Council's former Chief Housing Officer and District Health and Housing Officer, - who retired in 2007 after giving 29 years' loyal service to the Council and the tenants and other residents of the Epping Forest District;

(5) That the four new Council houses to be provided adjacent to 12 Oakwood, Waltham Abbey be numbered 13 - 16 Oakwood, Roundhills, Waltham Abbey and the two new Council houses to be provided adjacent to 27 Greenleas, Waltham Abbey be numbered 29 and 31 Greenleas, Roundhills, Waltham Abbey; and

(6) That, in accordance with (1) above, Waltham Abbey Town Council be invited to submit a list of 5 street names / property names in preference order for Cabinet Committee to consider at a future meeting, after consultation with ward members, for the following new Council housing developments:

- (a) comprising four houses and two duplex flats at the site of the former Red Cross Hall, Roundhills, Waltham Abbey (new street name required) ; and
 - (b) comprising two new houses to the rear of 66-72 Fairways (new property name required); and
- (7) That the detailed address and numbering arrangements for all of the developments be agreed in consultation with the Director of Neighbourhoods.

Reasons for Decision:

There was a legal requirement that all streets were named and properties numbered. In line with the Terms of Reference of the Cabinet Committee it was required to consider and approve the naming of each new Council Housebuilding development, following consultation with the Parish or Town Councils and Ward Members in line with the Council's Policy on Street Naming and Numbering.

Other Options Considered and Rejected:

Since all new developments required an address and the Council had the legal responsibility to ensure streets were named and properties numbered, the only other options available were whether to name the addresses now or at a later date.

10. PHASE 1 AND 2 PROGRESS REPORT

The Assistant Director (Housing Property and Development) presented a progress report to the Cabinet Committee on Phases 1 and 2 of the Council Housebuilding Programme. He advised that in July 2013, February 2014 and April 2014, the Cabinet Committee considered feasibility studies, investment reports and progress reports for Marden Close and Faversham Hall conversions as well as Phases 1 and 2 of the Council's Housebuilding Programme. This report provided Members with an update on both the progress to date and the budget position.

Marden Close and Faversham Hall Conversion

In July 2014 the Housing Portfolio Holder agreed the appointment of PA Finley Limited to undertake the Design and Build Contract for the conversion of 20 bedsits at Marden Close and the ground floor of Faversham Hall into 12 self-contained 1 bedroom flats, in the sum of £819,861 (excluding the Development Agent's fees of around £70,000). The contract was currently being drawn up and the Date of Possession was estimated to be around the beginning of September 2014, after the detailed design had been completed by the Contractor. Completion was estimated to be 12 months later, around September 2015.

Phase 1

Earlier on the agenda the Cabinet Committee considered the tender for Phase 1 of the Council's housebuilding programme. However, this was referred to the Cabinet on 8 September 2014, once further financial checks on each of the tenderers had been carried out.

Phase 2

Since the Cabinet Committee agreed to progress with a 56-home scheme at the Burton Road site in Loughton as Phase 2 of the Council Housebuilding Programme, Pellings LLP, the Architects appointed by the Council's Development Agent, East

Thames, had undertaken consultation with the Council's Planning Officers and developed the designs in line with their observations around overlooking issues. This had resulted in a slight reduction from 56 new homes to 52. The mix, subject to planning permission will therefore be as follows:

- 2 x 2-bed houses
- 15 x 3-bed houses
- 13 x 1-bed flats
- 22 x 2-bed flats
- 27 off street parking spaces

The estimated cost for Phase 2 remained at around £8.9m with a £1.512m subsidy to achieve a 30-year pay-back and a positive NPV. This excluded the sum of £18,400 agreed by the Cabinet Committee as a financial contribution to the NHS to fund healthcare by way of a Unilateral Undertaking, subject to the money being specifically spent on services in the Loughton area.

Recommended:

(1) That the current progress with regard to Marden Close and Faversham Hall, as well as Phases 1 and 2 of the Council housebuilding programme be noted, and in particular a reduced number of new affordable homes proposed at Burton Road, Loughton as Phase 2 from 56 homes to 52;

(2) That the current budget position be noted, based on:

- (a) Marden Close and Faversham Hall tender sum already agreed by the Housing Portfolio Holder in the sum of £890,000 (Works and Fees) for 12 new self-contained flats;
- (b) Phase 1 tender to be considered by the Cabinet taking account of further financial checks on each of the tenderers for 23 homes at Roundhills and Harveyfields, Waltham Abbey; and
- (c) Phase 2 feasibility estimate of £8.9m (Works and fees) for 52 new homes at Burton Road, Loughton.

(3) That the Programme timetable at Appendix 1 of the report to the Cabinet Committee be noted.

Reasons for Decision:

It was a requirement that the Housebuilding Cabinet Committee received regular updates on progress and monitors expenditure against the Housebuilding budget as delegated by the Cabinet.

Other Options Considered and Rejected:

None, this report was for noting only.

11. OUTCOME OF HCA AFFORDABLE HOUSING GRANT APPLICATION

The Assistant Director (Housing Property and Development) presented a report to the Cabinet Committee regarding the Homes and Communities Agency (HCA) bid. The Assistant Director advised that following the launch of the 2015-18 Affordable Homes Programme Bid Prospectus by the HCA, the Council Housebuilding Cabinet Committee agreed at its last meeting in April 2014 that East Thames submit a bid on behalf of the Council for a total of £500,000 to subsidise the development costs of 40

new affordable homes, making up Phase 2 of the Council Housebuilding Programme. It was recently announced that this bid was successful, subject to the Council being able to achieve Investment Partner Status with the HCA and the Council being able to deliver the new affordable homes within the timescale of the Bid Programme 2015-18.

Resolved:

(1) That it be noted, the Council's bid to the Homes and Communities Agency (HCA) for £500,000 Affordable Housing Grant to subsidise the development of 40 new affordable homes as part of Phase 2 of the Council's Housebuilding Programme, made up of £12,500 per property, has been approved by the HCA.

(2) That it also be noted that the grant was conditional on the Council being able to achieve Investment Partner Status with the HCA and the Council being able to deliver the new affordable homes within the timescale of the Bid Programme 2015-18.

Reason for Decision:

This report is for noting only. No decision was required.

Other Options Considered and Rejected:

None, this report was for noting only.

12. DEVELOPMENT STRATEGY - YEAR 2 UPDATE

The Assistant Director (Housing Property & Development) advised the Cabinet Committee that this item had been withdrawn from the Agenda and would be reported to a future meeting.

13. RISK REGISTER UPDATE

The Assistant Director (Housing Property and Development) presented a report to the Cabinet Committee regarding the Risk Register which had been reviewed and updated by Pellings LLP.

The Chairman advised that the Risk Management Schedule print was too small and illegible and asked Officers if this could be enlarged for future reports.

Resolved:

(1) That the Programme-wide Risk Register for the Council Housebuilding Programme be noted; and

(2) That the Risk Management Schedule print be enlarged for future reports.

Reason for decision:

The Council's Housebuilding Programme was a major undertaking, involving significant amounts of money and risks. It was essential that the Officer Project Team and the Cabinet Committee record, monitor and mitigate those risks.

Other Options Considered and Rejected:

(a) Not to have a Risk Register – but it would not be appropriate to contemplate such an option; and

(b) To request amendments to the format or content of the Programme-wide Risk Register.

14. ANY OTHER BUSINESS

The Cabinet Committee noted that there was no other urgent business for consideration.

CHAIRMAN

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Council House Building Cabinet Committee

TERMS OF REFERENCE AND MEMBERSHIP

Terms of Reference

1. To consider and recommend to the Cabinet the Development Strategy for the Council's House Building Programme on an annual basis.
2. To consider and sign-off development appraisals and financial appraisals produced by the Council's appointed Development Agent for sites previously identified by the Cabinet as having development potential and that could be included within the Council's House Building Programme.
3. To approve the submission of detailed planning applications, and/or if more appropriate outline planning applications, by the Council's appointed Development Agent for sites that the Cabinet Committee considers are suitable for development and viable, having regard to the development appraisals and financial appraisals for the sites.
4. To invite ward members to attend meetings of the Cabinet Committee when potential development sites in their ward are under consideration, and to provide an opportunity for ward members to provide comments on proposed developments, before development appraisals and financial appraisals are signed-off and approvals to submit planning applications are given.
5. To approve the subsequent development of sites considered suitable for development and viable that receive planning permission, subject to the acceptance of a satisfactory tender for the construction works.
6. To approve, and include within financial appraisals, the use of the following sources of funding for the development of individual sites within the Council's House Building Programme:
 - (a) The agreed Housing Capital Programme Budget for the House Building Programme;
 - (b) Capital receipts made available through the Council's Agreement with the Department of Communities and Local Government allowing the use of receipts from additional Right to Buy (RTB) sales as a result of the Government's increase in the maximum RTB Discount to be spent on House Building;
 - (c) Financial contributions received from developers for the provision of affordable housing within the District, in lieu of on-site affordable housing provision, in compliance with Section 106 Planning Agreements; and
 - (d) Grant funding received from the Homes and Communities Agency.
7. To approve the submission of the Council's Pre-Qualification Questionnaire to the Homes and Communities Agency (HCA), applying for Investment Partner status with the HCA.
8. To consider and accept tenders received for the construction works on sites included within the Council House Building Programme.
9. To determine whether, in addition to the potential development sites already considered by the Cabinet, sites with development potential within the following categories should be added to either the House Building Programme's Primary List or Reserve List and detailed development appraisals and financial appraisals undertaken by the Council's Development Agent:
 - (a) Other specific garage sites comprising 6 or less garages;
 - (b) Specific garage sites where garage vacancies arise with no waiting list of applicants; and
 - (c) Specific areas of Council-owned land on housing sites considered to be surplus to requirements.

10. To determine whether sites on the Reserve List of potential development sites previously agreed by the Cabinet should be promoted to the Primary List, and detailed development appraisals and financial appraisals undertaken by the Council's Development Agent, due to:
 - (a) There being insufficient numbers of properties that can be viably developed from the Primary List of potential development sites to deliver a House Building Programme of 120 new homes over a six-year period; and/or
 - (b) The Cabinet subsequently deciding to increase the size of the House Building Programme and there being insufficient numbers of properties that can be viably developed to deliver a larger Programme.
11. To monitor and report to the Cabinet on an annual basis:
 - (a) Progress with the Council House Building Programme; and
 - (b) Expenditure on the Housing Capital Programme Budget for the Council House Building Programme, ensuring the use (within the required deadlines) of the capital receipts made available through the Council's Agreement with the Department of Communities and Local Government allowing the use of receipts from additional Right to Buy (RTB) sales as a result of the Government's increase in the maximum RTB Discount to be spent on house building.
12. To approve applications to the Homes and Communities Agency (HCA) (or any successor body) to obtain HCA Investment Partner Status (or similar), in order to enable the Council to seek funding from the HCA, and to approve funding bids to the HCA for developments within the Council House Building Programme (*added by Leader Decision – 21.3.14*).
13. To consider and approve the future use of any potential development site previously identified by either the Cabinet or Cabinet Committee as having possible development potential for Council House Building where it either does not gain planning consent, is deemed inappropriate to develop undevelopable by the Cabinet Committee for whatever other reason or where the development appraisal identifies that the site is economically undevelopable. (*Added by Leader Decision – 16.5.14*)
14. To decide, where necessary, the names of developments undertaken through the Council House Building Programme, following consultation with the Parish or Town Councils and Ward Members. (*Added by Leader Decision – 27.8.14*)

Membership

Housing Portfolio Holder (Chairman)
Finance and Technology Portfolio Holder
Planning Portfolio Holder
Environment Portfolio Holder
Safer, Greener and Highways Portfolio Holder

Frequency of Meetings

As and when required, as determined by the Housing Portfolio Holder.

Report to the Council Housebuilding Cabinet Committee



**Epping Forest
District Council**

Report reference: CHB-007-2014/15

Date of meeting: 13 October 2014

Portfolio: Housing

Subject: Feasibility Reports – Council Housebuilding Programme

**Responsible Officer: Paul Pledger (01992 564248)
Assistant Director of Housing (Property)**

Democratic Services: Jackie Leither (01992 564756)

Recommendations:

(1) That the Cabinet Committee considers the viability of each of the 14 (fourteen) individual feasibility studies taken from the Cabinet approved list of Primary Sites, as listed below, for consideration for inclusion in a future phase of the Council Housebuilding Programme;

- a. Kirby Close Loughton - Garages 1-4
- b. Whitehills Road, Loughton - Garages 354-380
- c. Hornbeam Close, Buckhurst Hill (Site A) - Garages 1-24
- d. Hornbeam Close, Buckhurst Hill (Site B) - Garages 25-38
- e. Hornbeam House Buckhurst Hill - Garages 1-22
- f. Bourne House, Buckhurst Hill - Garages 12-36
- g. Pentlow Way Buckhurst Hill - Garages 1-19
- h. Loughton Way, Buckhurst Hill - Garages 1-24
- i. Lower Alderton Hall, Loughton - Garages 440-445
- j. Bushfields, Loughton - Garages 51-70
- k. Chequers Road, Loughton (Site A) - Garages 146 - 171
- l. Chequers Road Loughton (Site B) - Garages 231-258
- m. Marlescroft Way, Loughton - Garages 581-591
- n. Ladyfields, Loughton - Garages 332-353

(2) That for any sites not considered viable for Council house-building, alternative uses be agreed based on the following options:

- a. To sell the site for social housing to a Housing Association in return for a capital receipt to fund future Council house-building and to gain nomination rights for Council housing applicants;
- b. To sell the site for private development, either for residential or other use in return for a capital receipt to fund future Council house-building;
- c. To divide up the site and sell the land to local residents to extend their private gardens in return for a capital receipt to fund future Council house-building;
- d. To demolish the garages, re-surface and mark out the land and to leave the site as open car parking for local residents;
- e. To sell the site to a Town or Parish Council for their own purposes (eg. public amenity space) in return for a capital receipt to fund future Council house-building; or
- f. To continue to market and rent the garages to local residents.

Executive Summary:

Each of the 14 sites included with this report are presented as individual feasibility studies, which identify the number of units and the mix that achievable for each site, along with the total scheme cost and the subsidy required to deliver the affordable housing on each site. At this stage, Members are to consider the merits of each site and agree which are to progress for inclusion in a future phase of the Council House-building Programme in line with the Policy on Prioritisation of Sites.

Reasons for Proposed Decision:

At its meeting in August 2014, the Cabinet Committee asked that each of the sites on the Primary List of approved sites be progressed to feasibility stage to create a bank of sites for future phases of the House-building Programme. The 14 (fourteen) sites included in this report are the first of 22 sites that were completed in Loughton and Buckhurst Hill along with the Burton Road site back in November 2013, albeit not reported at that time. Each site is presented on its own merits at this stage. However, when all 22 sites have been considered by the time of the next meeting in November 2014, the Cabinet Committee will then be asked to batch the sites in line with the Policy on Prioritisation of Sites.

Other Options for Action:

1. Not to progress with any of the schemes presented in this report.
2. To develop the sites with a different number of homes, or with an alternative mix of property types or parking allocation.

Background:

1. At its meeting in July 2012 the Cabinet agreed a list of 65 Primary sites for Council house-building and also that the Council's Development Agent (once appointed) prepares feasibility studies on all of those sites.
2. Furthermore, at its meeting in April 2014, the Cabinet Committee agreed to accelerate the House-building Programme by increasing the number of homes per year from 20 to 30 over a 10-year programme as opposed to a 6-year programme that was previously the target. This has resulted in the need to bring forward the feasibility studies for each of the sites at the request of the Cabinet Committee.
3. Attached to this report are 14 individual feasibility studies in Loughton and Buckhurst Hill. Each feasibility study considers the number and mix of units capable of being delivered on each site. It also estimates the total scheme cost for each site along with an estimate of how much subsidy will be required. A summary table, bringing together all of the key information from the feasibility reports can be found at appendix 1.
4. The Cabinet Committee are at this stage only expected to make a decision around which sites are considered viable and suitable for development. The decision as to which sites will be packaged to form a future phase will be taken in November 2014, when the remainder of the 8 sites in Loughton and Buckhurst Hill are to be considered by the Cabinet Committee. The ultimate decision on phasing of areas will be undertaken in accordance with the Policy on Prioritisation of sites agreed by the Cabinet Committee as follows:
 - a. That locations be grouped together into the following two Groups and the Priority

Orders shown:

Group A (Locations with sites that could potentially deliver 10 or more homes):

<u>Priority</u>	<u>Location</u>
1	Loughton
2	Waltham Abbey
3	Epping
4	Buckhurst Hill
5	Ongar
6	North Weald

Group B (Locations with sites that could potentially deliver less than 10 homes):

<u>Priority</u>	<u>Location</u>
1	Theydon Bois
2	Nazeing
3	Roydon
4	Coopersale
5	High Ongar
6	Matching Green/Tye

- b. That development packages/phases be formulated each year, on a rotational basis - in the Priority Order shown in Group A above - until the capacity for the potential number of homes in a location reduces to less than 10, at which point the location be moved into Group B.
5. For those sites that are, for whatever reason, not considered to be viable or unsuitable for redevelopment as part of the Council's House-building Programme, then the Cabinet Committee is to consider what future use should be investigated based on the following options:
 - a. To sell the site for social housing to a Housing Association in return for a capital receipt to fund future Council house-building and to gain nomination rights for Council housing applicants;
 - b. To sell the site for private development, either for residential or other use in return for a capital receipt to fund future Council house-building;
 - c. To divide up the site and sell the land to local residents to extend their private gardens in return for a capital receipt to fund future Council house-building;
 - d. To demolish the garages, re-surface and mark out the land and to leave the site as open car parking for local residents;
 - e. To sell the site to a Town or Parish Council for their own purposes (eg. public amenity space) in return for a capital receipt to fund future Council house-building; or
 - f. To continue to market and rent the garages to local residents
6. It is important to point out that whilst each of these feasibility reports are for sites that are all based in Loughton and Buckhurst Hill, this is due to the fact these sites had already been prepared in November 2013, prior to the decision being reached on Burton Road forming Phase 2 of the Council's House-building Programme. As a result, these sites were "parked" at that time ready to bring forward at some time in the future as part of a rolling programme of feasibility studies.

7. Feasibility studies for sites in Epping, Parklands and North Weald will follow at a meeting scheduled for December 2014, with other sites in other parts of the District coming forward in the New Year.

Resource Implications:

£8.64m inclusive of works and fees. However, the actual costs and the year in which it will be expended will be determined at a future date.

Legal and Governance Implications:

Within its Terms of Reference, the House-Building Cabinet Committee is expected to consider each site and package of works and either approve it to progress to detailed planning stage or agree an alternative use.

Safer, Cleaner and Greener Implications:

The sites being considered are currently used as garage blocks, rented to garage tenants. A large proportion of the site contains a former Council depot and garages which are either vacant or not used to park vehicles (Source: ECC Parking Standards) Redeveloping these garages and/or amenity land will add value to and enhance the local environment and streetscape.

Consultation Undertaken:

None.

Background Papers:

Development Strategy, along with the following Policies:

- Affordable Rents Policy;
- Funding the House-building Programme;
- Accelerating the House-building Programme;
- Future use of garage sites unsuitable for redevelopment; and
- Prioritisation of sites

Impact Assessments:

Risk Management

Within the financial viability assessment, the greatest risks are that the assumptions prove to be incorrect resulting in each site being un-viable.

These risks are mitigated by the Council being able to either add more subsidy or not to progress the works beyond the planning stage.

In addition, a site specific risk register has been compiled and included within the individual feasibility reports.

Equality and Diversity

Did the initial assessment of the proposals contained in this report for relevance to the Council's general equality duties, reveal any potentially adverse equality implications? No

Where equality implications were identified through the initial assessment process, has a formal Equality Impact Assessment been undertaken? N/A

What equality implications were identified through the Equality Impact Assessment process?

It should be noted that an Equality Impact Assessment has already been formulated for Housing Strategy and Development.

How have the equality implications identified through the Equality Impact Assessment been addressed in this report in order to avoid discrimination against any particular group?

N/A

Due Regard Record

This page shows **which groups of people are affected** by the subject of this report. It sets out **how they are affected** and how any **unlawful discrimination** they experience can be eliminated. It also includes information about how **access to the service(s)** subject to this report can be improved for the different groups of people; and how they can be assisted to **understand each other better** as a result of the subject of this report.

S149 Equality Act 2010 requires that due regard must be paid to this information when considering the subject of this report.

Within the Housing Service Strategy, it has been identified that the target groups that are affected by the Council's house building programme are people in need of:

- Affordable Housing,
- Homelessness assistance,
- Supported housing for special needs groups,
- Owners and occupiers of poor condition housing
- Council and housing association tenants.

From that, it was identified that generally, there is an under provision of suitable accommodation for nearly all target groups. This has been reaffirmed in the most recent Strategic Housing Market Assessment.

Decision making is affected by funding and other factors, such as the availability of building land suitable for particular groups e.g. the elderly or young families.

There is no evidence of unlawful discrimination in relation to the provision of affordable housing.

Appendix 1

House Building Programme - Proval Financial Modelling										November 2013
Sites	Ward	unit mix	unit number	works	Total Scheme Costs (TSC)	subsidy required	subsidy per unit	TSC per unit	NPV	IRR in %
Kirby Close Loughton - Garages 1-4	Loughton Roding	4 x 2b4p	4	£ 659,700	£ 760,139	£ 160,000	£ 40,000	£ 190,035	£ 241,256	5.33
Whitehills Road, Loughton - Garages 354-380	Loughton St Mary's	3 x 3b5p	3	£ 612,000	£ 703,375	£ 204,000	£ 68,000	£ 234,458	£ 202,411	5.34
Hornbeam Close, Buckhurst Hill (Site A) - Garages 1-24	Buckhurst Hill East	3 x 3b5p	3	£ 543,120	£ 626,656	£ 126,000	£ 42,000	£ 208,885	£ 201,130	5.33
Hornbeam Close, Buckhurst Hill (Site B) - Garages 25-38	Buckhurst Hill East	3 x 3b5p	3	£ 575,100	£ 662,281	£ 162,000	£ 54,000	£ 220,760	£ 201,505	5.33
Hornbeam House Buckhurst Hill - Garages 1-22	Buckhurst Hill East	2 x 3b5p	2	£ 427,500	£ 491,835	£ 158,000	£ 79,000	£ 245,918	£ 134,022	5.33
Bourne House, Buckhurst Hill - Garages 12-36	Buckhurst Hill East	2 x 3b5p	2	£ 427,500	£ 491,018	£ 164,000	£ 82,000	£ 245,509	£ 134,839	5.34
Pentlow Way Buckhurst Hill - Garages 1-19	Buckhurst Hill East	4 x 1b2p	4	£ 525,900	£ 602,226	£ 248,000	£ 62,000	£ 150,557	£ 137,377	5.32
Loughton Way, Buckhurst Hill - Garages 1-24	Buckhurst Hill East	4 x 3b5p	4	£ 831,900	£ 654,427	£ 288,000	£ 72,000	£ 163,607	£ 269,287	5.34
Lower Alderton Hall, Loughton - Garages 440-445	Loughton Alderton	2 x 2b4p	2	£ 367,500	£ 423,742	£ 124,000	£ 62,000	£ 211,871	£ 120,955	5.34
Bushfields, Loughton - Garages 51-70	Loughton Alderton	2 x 2b4p	2	£ 402,900	£ 463,120	£ 163,000	£ 81,500	£ 231,560	£ 120,487	5.33
Chequers Road, Loughton (Site A) - Garages 146 - 171	Loughton Alderton	3 x 3b5p	3	£ 599,700	£ 689,713	£ 189,000	£ 63,000	£ 229,904	£ 201,073	5.33
Chequers Road Loughton (Site B) - Garages 231-258	Loughton Alderton	2 x 2b4p	2	£ 402,900	£ 463,120	£ 163,000	£ 81,500	£ 231,560	£ 120,487	5.33
Charlescroft Way, Loughton - Garages 581-591	Loughton Alderton	2 x 2b4p	2	£ 318,300	£ 369,102	£ 64,000	£ 32,000	£ 184,551	£ 124,231	5.34
Ladyfields, Loughton - Garages 332-353	Loughton Alderton	7 x 2b4p	7	£ 1,076,400	£ 1,239,919	£ 210,000	£ 30,000	£ 177,131	£ 417,493	5.35
Totals			36	£6,498,720	£ 7,177,159	£ 2,059,000	£ 741,000	£ 2,501,813	£ 2,182,886	
Notes:										
Rents = 1bed £119.59, 2 bed £165.58, 3 bed £180										
Financial target = loan payback in year 30										

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**East Thames Housing / Epping Forest District Council
Housing Delivery Programme**

Feasibility Report

Site: 1-4 (Garages) Kirby Close, Loughton IG10 3BA

Rev: A

Ref: IJC/srs/612.023
Date: September 2014

Contents

1. Introduction and Confirmation of Brief
2. Existing Site and Surroundings
3. Proposals
4. Planning Issues and Risks
5. Impact/Implications of Statutory Services
6. Site Access and Buildability Issues
7. Neighbourly Matters and Party Walls
8. Proposed Procurement Route
9. Impact on Parking
10. Legals
11. Costs
12. Recommendations and Conclusions

Appendices

- A: Development Proposals – Drawings 612.023.P2-7B
- B: Site Photographs
- C: Existing Site Plan 201206014-AJ
- D: Statutory Services Information
- E: Information on Possible Contamination
- F: Cost Build-up

1.0 Introduction and Confirmation of Brief

- 1.1. Pellings LLP are appointed as part of East Thames Group Technical Team in respect of delivery of Development Agent services to Epping Forest District Council for a six year housing delivery programme.
- 1.2. Following initial appraisal by EFDC, 59 sites have been identified as having possible development potential, with a further number of sites in reserve.
- 1.3. Pellings LLP have been instructed to progress feasibility studies to all 59 sites and which will assist in establishing the extent and timing of the overall programme.
- 1.4. Our instructions are in accordance with our fee tender of 13 August 2012, against the previously prepared tender documentation, and email confirmation of 9 April 2013.

2.0 Existing Site and Surroundings

- 2.1. The site is located in a residential area midway between Buckhurst Hill and Loughton stations.
- 2.2. The site consists of 4 garages and hardstanding and it is accessed by way of a 4m wide vehicular access on Pentlow Way. The site adjoins residential plots on three sides (semi-detached houses with gardens are situated to the north, south and west). To the east the site is adjoined by a steep grass bank at the bottom of which is a roadway and the other side of this are three storey flats. The area in general is residential with two storey houses and three storey flats of various styles.
- 2.3. There are points of vehicular access into the site from the rear of adjoining properties.

3.0 Proposals

- 3.1. Read in conjunction with drawings 612.023.P2-7B attached at Appendix A.
- 3.2. The proposals are :

Erection of a 4 x two storey 2 bedroom houses each with rear gardens
Provision of 12 parking spaces and access/landscaping
- 3.3. Our proposals maintain the vehicular access as referenced in 2.3 above.

4.0 Planning Issues and Risks

Relevant Planning Policies/Considerations

- 4.1. The adopted Development Plan for Epping Forest District Council is the Combined Local Plan 1998 and Local Plan Alterations 2006.
- 4.2. The site is not located in a Conservation Area and it is not designated for any particular purposes in the Epping Forest District Council Combined Local Plan 1998 and Local Plan Alterations 2006. The site does not lie in a Flood Zone on the Environment Agency Flood Map.

- 4.3. There are no specific policies which prevent the loss of existing garages although policy ST4 (Road Safety) states that planning permission will only be granted where there will be no adverse effects on the highway, traffic congestion or harm to the character or appearance of the area. Parking spaces to meet with the Council's standards are proposed for the new dwellings.
- 4.4. It will be necessary to undertake a Parking Survey and to prepare a Transport Statement to demonstrate that the loss of the garages and proposed development would not cause any parking shortfalls or harm to highway conditions or the amenities of the area.
- 4.5. The site is located in the settlement of Loughton and the proposal would be consistent with policy CP7 which encourages the efficient use of existing built-up areas by the 'recycling of vacant, derelict, degraded and under-used land to accommodate the development' and the 're-use of urban sites, which are no longer appropriate to their existing or proposed use in the foreseeable future, for alternative land uses'.
- 4.6. The proposal would comply with policy H4A which states the need for a range of dwellings, including an appropriate proportion of smaller dwellings, to meet identified housing need on a site-by-site basis.
- 4.7. The development of small family homes with rear gardens and private and communal parking would be in keeping with the character and appearance of the area and may comply with Epping Forest's design policies and guidance.

5.0 **Impact/Implications of Statutory Services**

- 5.1. We have undertaken statutory services enquiries to the following:
- Southern Gas
 - Cable and Wireless
 - Virgin Media
 - Thames Water
 - BT
 - National Grid
 - Scottish and Southern Energy
 - Environment Agency
 - UK Power Networks
- 5.2. Responses received to date are from the Environment Agency, National Grid, UK Power Networks, Virgin Media and Thames Water.
- 5.3. The Environment Agency has not pointed out any watercourses which cross the site.
- 5.3.1. National Grid: No apparatus appears to be located on the site.
- 5.3.2. UK Power Networks: No apparatus appears to be located on the site.
- 5.3.3. Virgin Media: No apparatus appears to cross the site
- 5.4. Thames Water: Plans indicate that a foul sewer crosses the site , close to its entrance

5.5. It should be noted there are a number of responses to enquiries that, at time of preparation of this report, have not yet been received.

6.0 **Site Access and Buildability Issues**

6.1. The site is accessed from existing site roads and there would not appear to be any particular difficulties for the normal level and size of construction traffic associated with a development of this nature.

6.2. Areas should be available for contractor's site set up and accommodation.

6.3. The site is within a primarily residential area and, accordingly, any appointed contractor should use all best endeavours to act in a considerate manner and within normal working hours.

6.4. Further to initial enquiries made to EFDC, some potential contamination issues have been highlighted with use of the domestic garages, and also a former horticultural nursery. Possible contaminants in respect of the former use as a nursery are summarised and indicated within the note produced by EFDC Planning and Economic Development Directorate at Appendix E.

6.5. Possible contaminants in respect of the previous use of the garage site may include asbestos, ash and clinker, hydro-carbons from vehicle maintenance and the like.

6.6. Accordingly, suitable site investigation will need to be undertaken ahead of any proposals to take this site forward and specific recommendations made to deal with any contamination found, whether by capping or removal from site.

6.7. The site is accessed by way of a narrow driveway and as at present, our proposals do not include a turning head for refuse or emergency vehicles. Accordingly, subject to detailed design, an independent refuse storage area may be required along with sprinkler provision to the new houses for fire protection.

7.0 **Neighbourly Matters and Party Walls**

7.1. As above, the proposed development site is within a primarily residential area and the appointed contractor should act in a considerate manner. It is proposed that restrictions on working hours, noise levels, requirement for resident liaison and similar matters will be included within contract documentation.

7.2. From proposals on Drawing 612.023/P2-7B, Party Wall matters may be relevant to development, particularly adjacent to 20 Kirby Close.

7.3. Confirmation of ownership will be required in due course.

7.4. Such Party Wall matters may be undertaken ahead of the build contract by direct appointment by EFDC, or included as a requirement for the contractor to deal with within the build contract. This later approach, however, would carry increased risk to programme and cost.

7.5. Existing vehicular access is retained as indicated above.

8.0 **Proposed Procurement Route**

- 8.1. It is understood that development works will be procured by way of the East Thames Housing Group existing contractor framework arrangements.
- 8.2. It is proposed that works shall be procured on a Design and Build basis with the contractors taking forward RIBA Stage D planning consent drawings into detailed design and construction delivery on site.
- 8.3. Schemes shall be designed to a set of Employer's Requirements to be subsequently confirmed but which substantially shall be formed from existing East Thames Housing Group Design Standards and Employer's Requirement documentation.
- 8.4. It is proposed that all site preparation works will be included within individual contract packages including any required demolitions, adjustment of statutory services, highways works and boundary maintenance/reinstatement/provision.
- 8.5. On completion of the feasibility studies for the whole programme, further recommendations will be made in terms of how works are packaged to ensure size of work packages are optimised for ensuring maximum economies for East Thames Housing Group and EFDC.
- 8.6. It is considered, at this stage, that this may be by way of a mix of different sized contractors dependent upon the numbers and geographical location of individual works packages.
- 8.7. Works will be administered by Pellings LLP as Employer's Agent acting in accordance with East Thames Housing Group terms of appointment and the overarching requirements of the Development Agency agreement.

9.0 **Impact on Parking**

- 9.1. The Council's currently adopted parking standards are contained within Essex County Council's Parking Standards Design and Good Practice Guide – September 2009. These revised standards were adopted by the Council as statutory planning guidance in February 2012.
- 9.2. Flats and houses have the same parking standard as follows:
- 1 bedroom accommodation – 1 space per dwelling
 - 2 bedroom accommodation and above – 2 spaces per dwelling
 - Visitor parking – 0.25 spaces per dwelling (rounded up to the nearest whole number)
- 9.3. The proposals would appear to more than meet the Council's parking standards for new development.
- 9.4. However, should the site move forward to planning application stages, it is recommended that a Transport Statement be undertaken, including parking surveys, to demonstrate that the loss of the garages will not give rise to any planning or highway problems.

10.0 **Legals**

10.1. We have been provided with a Summary Report of legal matters from EFDC Solicitors. The report makes reference to the suggested appropriation of land for planning purposes which would extinguish any prior rights of way.

10.2. The report makes reference to possible rights of light risk. A blanket policy against such risk might be considered.

10.3. Various vehicular access into adjacent properties but these are unaffected by proposals.

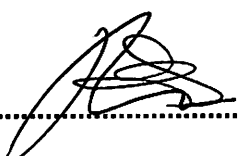
11.0 **Costs**

11.1. It is considered that a budget of £659,700.00 should be allowed for this scheme, inclusive of contractor design fees, but exclusive of professional fees and VAT. Please refer to Appendix F.

12.0 **Recommendations and Conclusions**

12.1. Subject to an overall lifetime cost appraisal, we conclude that the site appears to have economic development opportunities and we recommend is considered for taking forward to planning application stage, with a view to incorporating into the overall programme.

Signed:

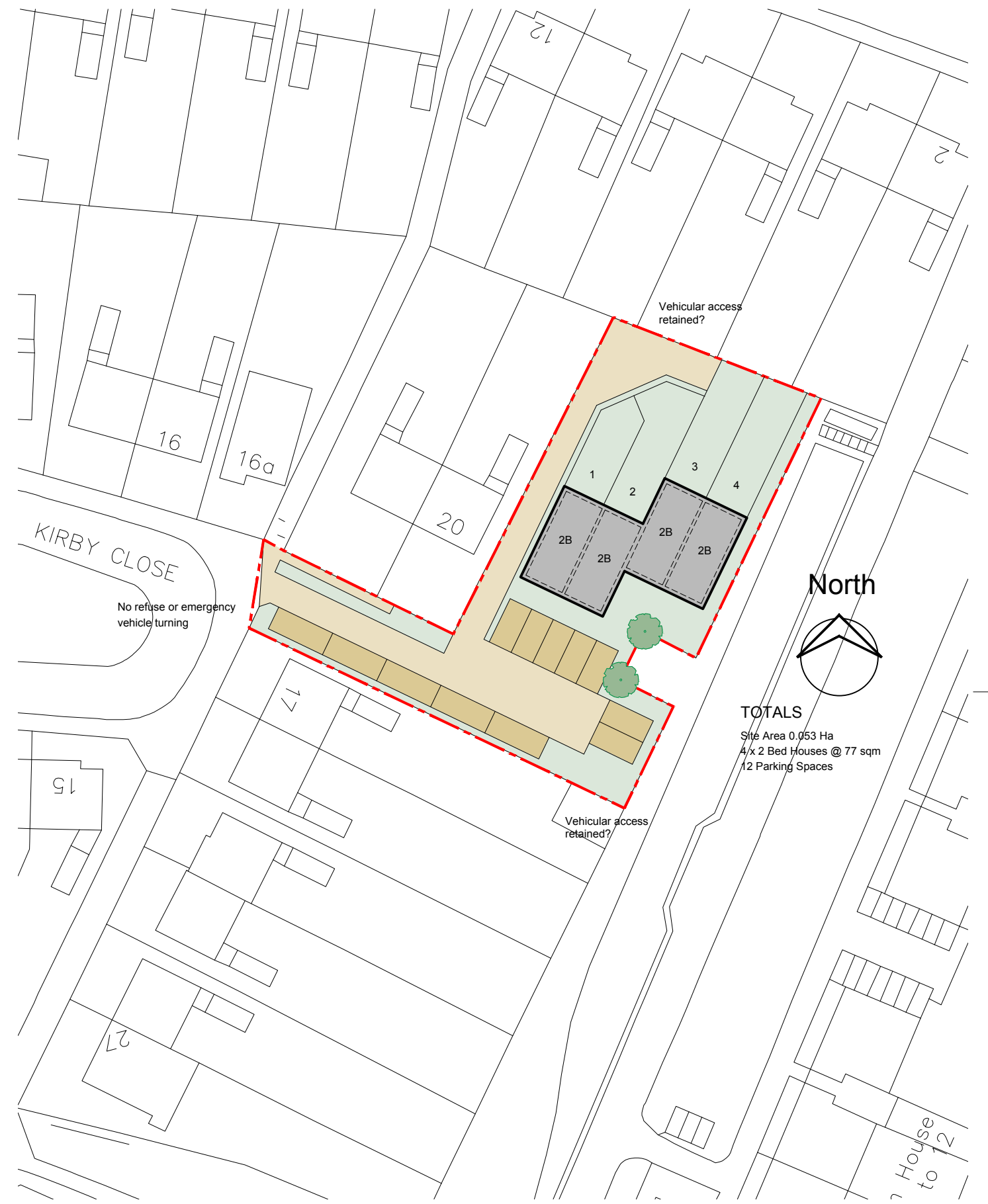
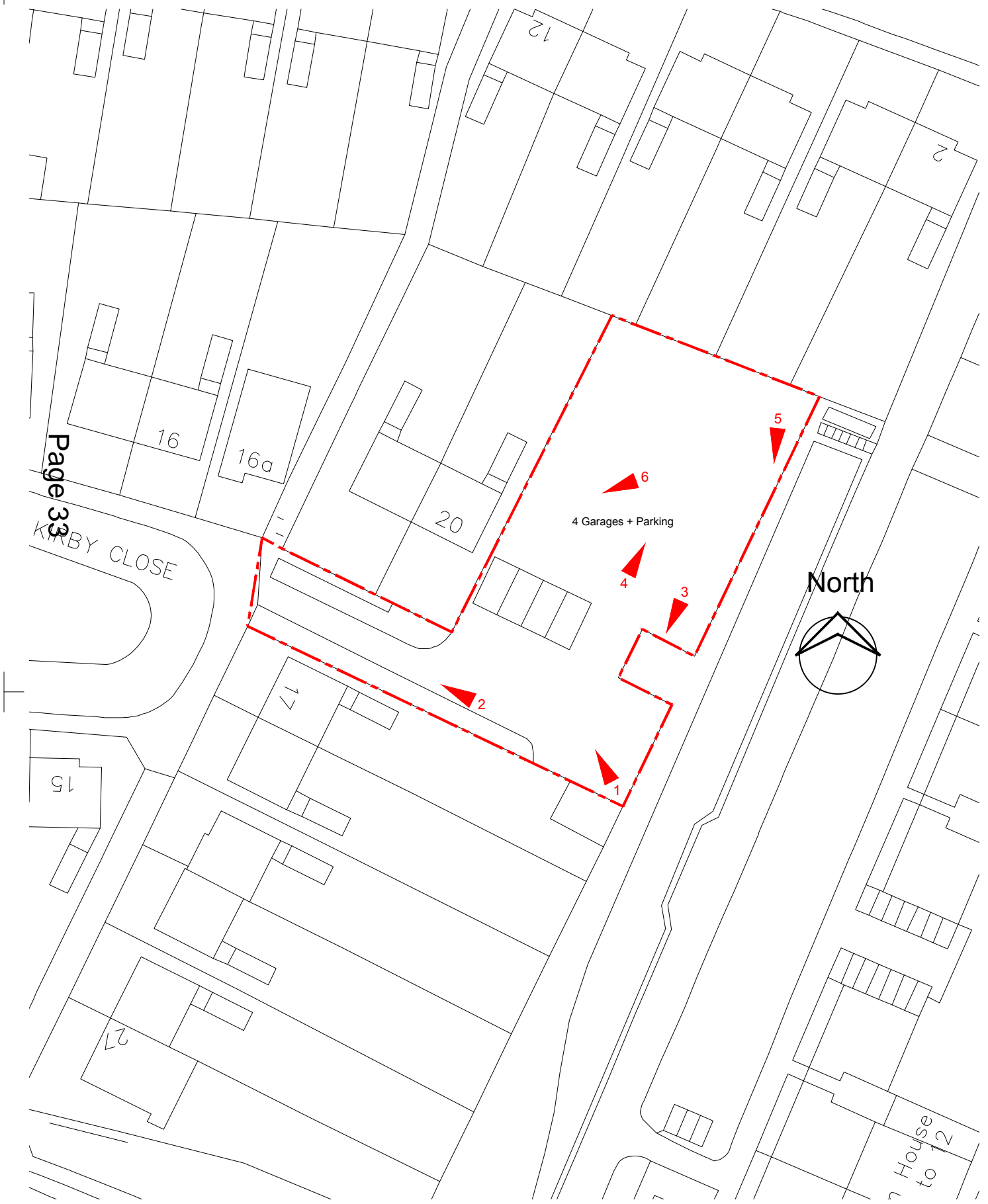

.....
Pellings LLP

Date: 1st October 2014
.....

Appendix A

Development Proposals

Drawings 612.023.P2-7B



TOTALS
 Site Area 0.053 Ha
 4 x 2 Bed Houses @ 77 sqm
 12 Parking Spaces

NOTES:
 Report all discrepancies, errors and omissions
 Do not scale from this drawing.
 Verify all dimensions on site before commencing any work or preparing shop drawings.
 All materials, components and workmanship are to comply with all the relevant British Standards, Codes of Practice, and appropriate manufacturers recommendations that from time to time shall apply.
 For all specialist work, see relevant drawings.
 This drawing and design are copyright of PELLINGS LLP

PRELIMINARY

Rev	Date	Description	Name
-	--/--		



Pellings LLP 24 Widmore Road Bromley Kent BR1 1RY t 020 8460 9114 f 020 8313 0019 e bromley@pellings.co.uk www.pellings.co.uk		Architecture & Planning ■ Building Surveying ■ Project Management ■ Cost Consultancy ■ CDM Co-ordination	
CLIENT	East Thames HA	PROJECT	EFDC House Building Programme
TITLE	Existing and Proposed Plans Kirby Close	DATE	NOV 2013
		SCALE	1:500 @A3
		DRAWN	NP
		CHK	
DRAWING No		612 023 P2-7	
		B	

Appendix B

Site Photographs

Appendix B - Site Photographs

1.



2.



3.



4.



5.

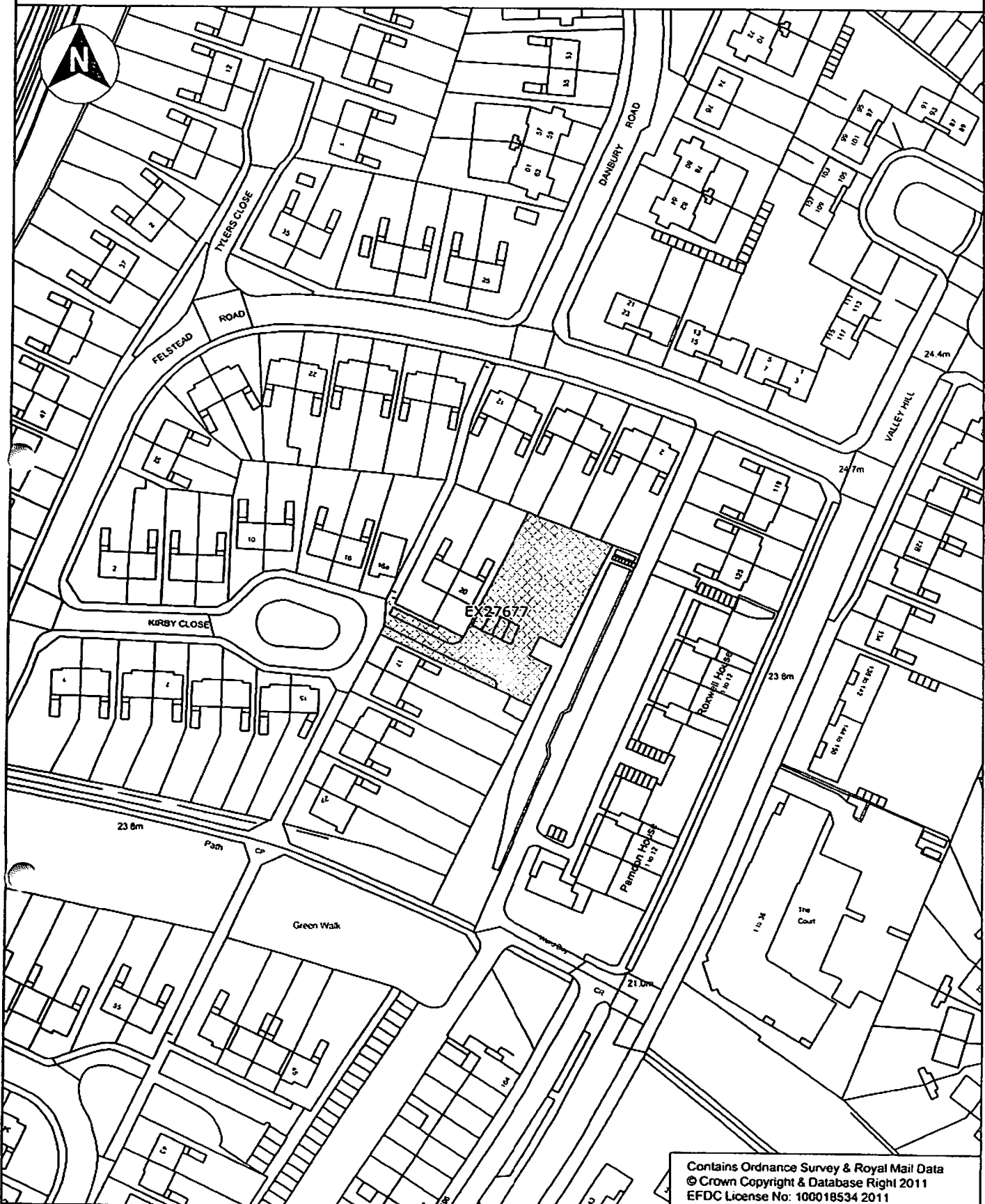


6.



Appendix C

Existing Site Plan



Contains Ordnance Survey & Royal Mail Data
 © Crown Copyright & Database Right 2011
 EFDC License No: 100018534 2011

Directorate of Environment & Street Scene Civic Offices High Street Epping, Essex, CM16 4BZ Tel 01992 564000	Project Potential Site for Council House Building Program Drawing No. 201206014 - AJ	Content Kirby Close Loughton	Date 04/07/12 Scale 1:1250 @ A4 Drawn By Robert Irwin
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Appendix D

Statutory Services Information



Adam Greenhalgh
Pellings
24 Widmore Road
Bromley
Kent
BR1 1RY

Plant Protection
National Grid
Block 1; Floor 1
Brick Kiln Street
Hinckley
LE10 0NA
E-mail: plantprotection@nationalgrid.com
Telephone: +44 (0)800 688588

National Grid Electricity Emergency Number:
0800 40 40 90*

National Gas Emergency Number:
0800 111 999*

* Available 24 hours, 7 days/week.
Calls may be recorded and monitored.

www.nationalgrid.com

Date: 24/10/2013
Our Ref: NL_TE_Z6_3SW_042163
Your Ref: KIRBY CLOSE

RE: Proposed Works, IG10 3BA, kirby close, loughton, essex

Thank you for your enquiry which was received on 17/10/2013.

Please note this response and any attached map(s) are valid for 28 days.

An assessment has been carried out with respect to National Grid Electricity Transmission plc's and National Grid Gas plc's apparatus. Please note it does not cover the items listed in the section "Your Responsibilities and Obligations", including gas service pipes and related apparatus.

For details of National Grid's network areas please see the National Grid website (<http://www.nationalgrid.com/uk/Gas/Safety/work/>) or the enclosed documentation.

As your works are at a "proposed" stage, any maps and guidance provided are for information purposes only. This is not approval to commence work. You must submit a "Scheduled Works" enquiry at the earliest opportunity and failure to do this may lead to disruption to your plans and works. National Grid will endeavour to provide an initial assessment within 14 days of receipt of a Scheduled Works enquiry and dependent on the outcome of this, further consultation may be required.

In any event, for safety and legal reasons, works must not be carried out until a Scheduled Works enquiry has been completed and final response received.

Your Responsibilities and Obligations

The "Assessment" Section below outlines the detailed requirements that must be followed when planning or undertaking your scheduled activities at this location.

It is your responsibility to ensure that the information you have submitted is accurate and that all relevant documents including links are provided to all persons (either direct labour or contractors) working for you near National Grid's apparatus, e.g. as contained within the Construction (Design and Management) Regulations.

This assessment solely relates to National Grid Electricity Transmission plc (NGET) and National Grid Gas plc (NGG) apparatus. This assessment does NOT include:

- National Grid's legal interest (easements or wayleaves) in the land which restricts activity in proximity to National Grid's assets in private land. You must obtain details of any such restrictions from the landowner in the first instance and if in doubt contact National Grid.
- Gas service pipes and related apparatus
- Recently installed apparatus
- Apparatus owned by other organisations, e.g. other gas distribution operators, local electricity companies, other utilities, etc.

It is YOUR responsibility to take into account whether the items listed above may be present and if they could be affected by your proposed activities. Further "Essential Guidance" in respect of these items can be found on the National Grid Website (<http://www.nationalgrid.com/NR/rdonlyres/6D6525F9-59EB-4825-BA89-DBD7E68882C7/51319/EssentialGuidance.pdf>).

This communication does not constitute any formal agreement or consent for any proposed development work; either generally or with regard to National Grid's easements or wayleaves nor any planning or building regulations applications.

NGG and NGET or their agents, servants or contractors do not accept any liability for any losses arising under or in connection with this information. This limit on liability applies to all and any claims in contract, tort (including negligence), misrepresentation (excluding fraudulent misrepresentation), breach of statutory duty or otherwise. This limit on liability does not exclude or restrict liability where prohibited by the law nor does it supersede the express terms of any related agreements.

If you require further assistance please contact the National Grid Plant Protection team via e-mail ([click here](#)) or via the contact details at the top of this response.

Yours faithfully

National Grid Plant Protection Team

ASSESSMENT

Affected Apparatus

The National Grid apparatus that has been identified as being in the vicinity of your proposed works is:

- High or Intermediate pressure (above 2 bar) Gas Pipelines and associated equipment
- Low or Medium pressure (below 2 bar) gas pipes and associated equipment. (As a result it is highly likely that there are gas services and associated apparatus in the vicinity)

Requirements

BEFORE carrying out any work you must:

- Carefully read these requirements including the attached guidance documents and maps showing the location of National Grid apparatus.
- Contact the landowner and ensure any proposed works in private land do not infringe National Grid's legal rights (i.e. easements or wayleaves). If the works are in the road or footpath the relevant local authority should be contacted.
- Ensure that all persons, including direct labour and contractors, working for you on or near National Grid's apparatus follow the requirements of the HSE Guidance Notes HSG47 - 'Avoiding Danger from Underground Services' and GS6 - 'Avoidance of danger from overhead electric power lines'. This guidance can be downloaded free of charge at <http://www.hse.gov.uk>
- In line with the above guidance, verify and establish the actual position of mains, pipes, cables, services and other apparatus on site before any activities are undertaken.

GUIDANCE

High Pressure Gas Pipelines Guidance:

If working in the vicinity of a high pressure gas pipeline the following document must be followed: 'Specification for Safe Working in the Vicinity of National Grid High Pressure Gas Pipelines and Associated Installations - Requirements for Third Parties' (SSW22). This can be obtained from:
http://www.nationalgrid.com/NR/ronlyres/50ACAC0A-ED26-41A7-91FA-83163A98270F/23790/TSPSSW22_J537_Rev0807.pdf

Excavating Safely - Avoiding injury when working near gas pipes:

http://www.nationalgrid.com/NR/ronlyres/2D2EEA97-B213-459C-9A26-18361C6E0B0D/25249/Digsafe_leaflet3e2finalamends061207.pdf

Standard Guidance

Essential Guidance document:

<http://www.nationalgrid.com/NR/ronlyres/6D6525F9-59EB-4825-BA89-DBD7E68882C7/51319/EssentialGuidance.pdf>

General Guidance document:

<http://www.nationalgrid.com/NR/ronlyres/55C13C4D-A1AA-4B13-BFDA-1CF59F88B326/51318/GeneralGuidance.pdf>

Excavating Safely in the vicinity of gas pipes guidance (Credit card):

<http://www.nationalgrid.com/NR/ronlyres/A3D37677-6641-476C-9DDA-E89949052829/44257/ExcavatingSafelyCreditCard.pdf>

Excavating Safely in the vicinity of electricity cables guidance (Credit card):

<http://www.nationalgrid.com/NR/ronlyres/35DDEC6D-D754-4BA5-AF3C-D607D05A25C2/44858/ExcavatingSafelyCreditCardelectricitycables.pdf>

Copies of all the Guidance Documents can also be downloaded from the National Grid Website:

<http://www.nationalgrid.com/uk/Gas/Safety/work/downloads/>

ENQUIRY SUMMARY

Received Date

17/10/2013

Your Reference

KIRBY CLOSE

Location

Centre Point: 542217, 194829

X Extent: 58

Y Extent: 49

Postcode: IG10 3BA

Location Description: IG10 3BA,kirby close,loughton,essex

Map Options

Paper Size: A4

Orientation: LANDSCAPE

Requested Scale: 500

Actual Scale: 1:5000 (GAS)

Real World Extents: 1445m x 785m (GAS)

Recipients

pprsteam@uk.ngrid.com

Enquirer Details

Organisation Name: Pellings

Contact Name: Adam Greenhalgh

Email Address: bromley@pellings.co.uk

Telephone: 0208 460 9114

Address: 24 Widmore Road, Bromley, Kent, BR1 1RY

Description of Works

MAP FOR INFORMATION PURPOSES

Enquiry Type

Proposed Works

Activity Type

General Excavation

Work Types

Work Type: Plans Only



ID: NL_TE_Z6_3SW_042163 View extent: 1445m, 785m		Map not to be used for construction		Map 1 of 1 (GAS)	
USER: roy.x.jones			<p>This plan shows those pipes owned by National Grid Gas plc in its role as a Licensed Gas Transporter (GT). Gas pipes owned by other GTs, or otherwise privately owned, may be present in this area. Information with regard to such pipes should be obtained from the relevant owners. The information shown on this plan is given without warranty, the accuracy thereof cannot be guaranteed. Service pipes, valves, syphons, stub connections, etc., are not shown but their presence should be anticipated. No liability of any kind whatsoever is accepted by National Grid Gas plc or their agents, servants or contractors for any error or omission. Safe digging practices, in accordance with HS(G)47, must be used to verify and establish the actual position of mains, pipes, services and other apparatus on site before any mechanical plant is used. It is your responsibility to ensure that this information is provided to all persons (either direct labour or contractors) working for you on or near gas apparatus. The information included on this plan should not be referred to beyond a period of 28 days from the date of issue.</p>		
DATE: 24/10/2013					
DATA DATE: 15/10/2013					
REF: KIRBY CLOSE					
MAP REF: TQ4294 CENTRE: 542217, 194829					
				MAPS Plot Server Version 1.7.6 	
				Requested by: Pellings This plan is reproduced from or based on the OS map by National Grid Gas plc, with the sanction of the controller of HM Stationery Office. Crown Copyright Reserved. Ordnance Survey Licence number 100024886	

Adam Greenhalgh

From: SPHatfield <SPHatfield@environment-agency.gov.uk>
Sent: 23 October 2013 17:49
To: Adam Greenhalgh
Subject: RE: Epping Forest DC - potential development sites

Dear Adam,

Further to your letters dated 16 October (your ref: AG/dh/612.023/05), we have the following comments to make on the specific sites listed below (please note that comments on three sites – Rear of shops, Loughton Way, Buckhurst Hill; Pentlow Way, Buckhurst Hill and Site B, Marlescroft Way, Loughton – will follow on or before 7 November due to additional site constraints).

Sites: Burton Road, Debden
White Hills, Loughton
Thatchers Close, Loughton
Site A, Pyries (**note:** should be 'Pyrles') Lane, Loughton
Site B, Pyries (**note:** should be 'Pyrles') Lane, Loughton
Site A, Chequers Road, Loughton
Site B, Chequers Road, Loughton
Site A, Langley Meadow, Loughton
Site B, Langley Meadow, Loughton
Hornbeam Close, Buckhurst Hill
Hornbeam House, Hornbeam Road, Buckhurst Hill
Bourne House, Hornbeam Road, Buckhurst Hill
Bushfields, Loughton
Etheridge Road, Loughton
Lower Alderton Hall Lane, Loughton
Ladyfields, Loughton
Kirby Close, Loughton
Chester Road, Loughton
Hillyfields, Loughton

Comments

As we are in an area of serious water stress, we endorse the efficient use of water resources. Residential developments such as your proposal should take advantage of water efficient technologies. This is in line with Epping Forest's local policy CP5 which states that the efficient use of water is encouraged through water efficient appliances and rainwater harvesting for example.

We suggest you use water efficiency measures and aim to achieve 105 litres/person/day. This is equivalent to level 3/4 for water within the Code for Sustainable Homes. Achieving this standard within new homes can be accomplished at very little additional cost, and is significantly cheaper than retrofitting such measures later.

Every opportunity should be taken to maximise Sustainable Drainage Systems (SuDS) such as green roofs, ponds, swales and permeable pavements, to alleviate surface water runoff. I have attached a copy of our SuDS guidance, which contains the SuDS hierarchy, to help you with your designs. The methods at the top of the hierarchy are preferred because they are beneficial in terms of sustainability and biodiversity. The hierarchy should be used in descending order. Tanks should only be used as a last resort. Epping Forest's local policy U3B on sustainable drainage systems advocates this approach.

As the sites are all under a hectare in Flood Zone 1, they fall within cell F5 of our Flood Risk Standing Advice consultation matrix. Epping Forest Local Planning Authority will therefore be responsible for assessing flood risk at these sites.

Kind regards,

Clark Gordon
Sustainable Places Planning Advisor
Environment Agency
North East Thames Area - Hatfield Team
01707 632308



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www.environment-agency.gov.uk/ClimateReady

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Date: 24/10/13

Scale: 1:1083

Map Centre: 542209.5,194836.2

Data updated: 25/08/13

Telecoms Plan A4

Important Information - please read

The purpose of this plan is to identify Virgin Media apparatus. We have tried to make it as accurate as possible but we cannot warrant its accuracy. In addition, we caution that within Virgin Media apparatus there may be instances where main voltage power cables have been placed inside green, rather than black ducting. Further details can be found using the 'Affected Postcodes.pdf', which can be downloaded from this website.

Therefore, you must not rely solely on this plan if you are carrying out any excavation or other works in the vicinity of Virgin Media apparatus. The actual position of any underground service must be verified by cable detection equipment, etc. and established on site before any mechanical plant is used. Accordingly, unless it is due to the negligence of Virgin Media, its employees or agents, Virgin Media will not have any liability for any omissions or inaccuracies in the plan or for any loss or damage caused or arising from the use of and/or any reliance on this plan.

This plan is produced by Virgin Media Limited from Ordnance Survey © Crown Copyright 100019209

Duct, Trench



Chamber

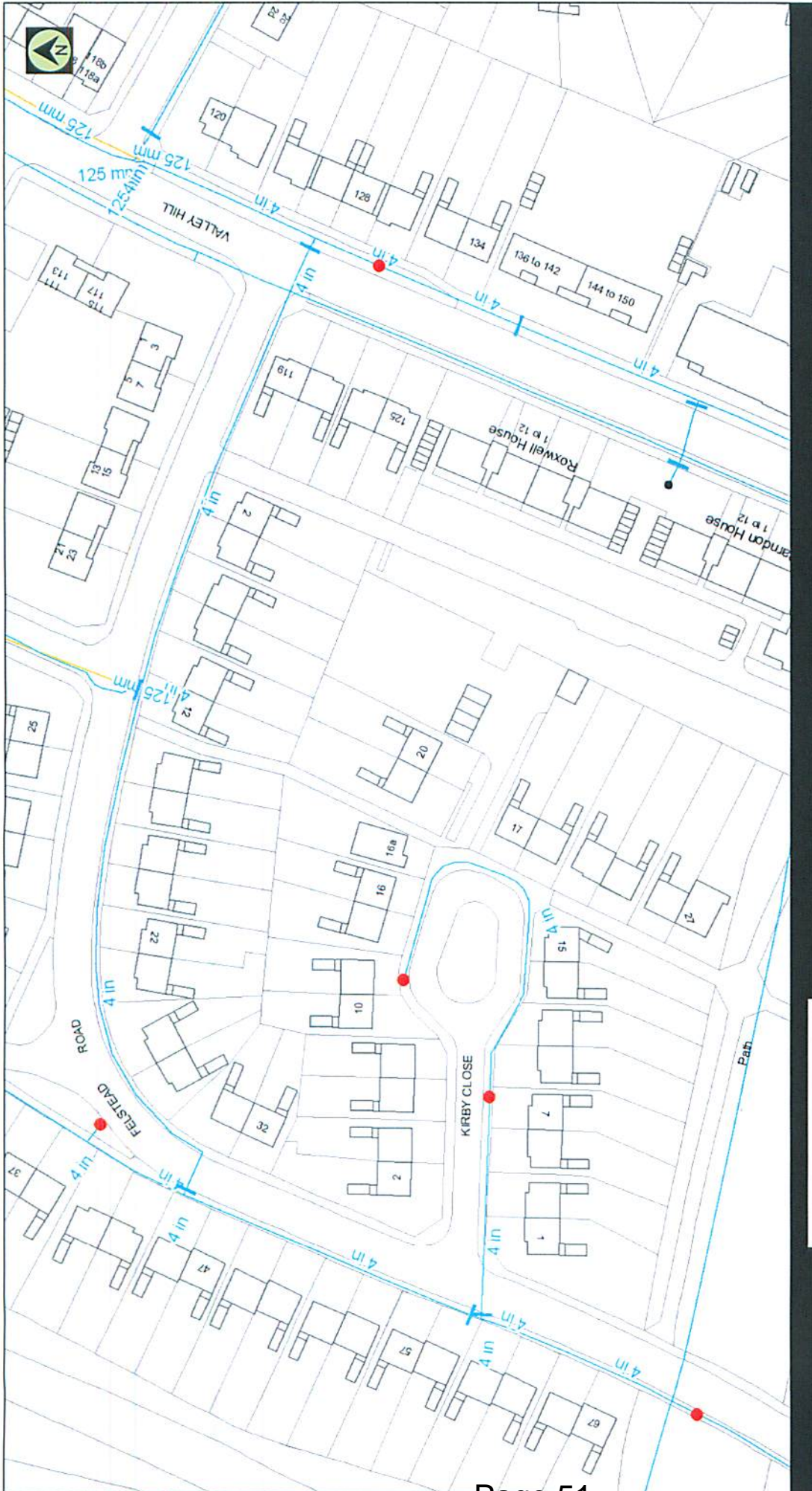


Cabinet



agreenhalgh@pellings.co.uk





Based on the Ordnance Survey Map with the sanction of the Controller of H.M. Stationary Office License Number- 100019345. This map is to be used for the purposes of viewing the location of Thames Water plant only. Any other uses of the map data or further copies are not permitted. The position of the apparatus shown on this plan is given without obligation and warranty, and the accuracy cannot be guaranteed. This information is valid for the date printed. Service pipes are not shown but their presence should be anticipated. No liability of any kind whatsoever is accepted by Thames Water for any error or omission. The actual position of mains and services must be verified on site before any works are undertaken.

Water Main		Meter	
Private Water		Valve	
Proposed Water		Hydrant	
Abandoned Asset		End Item	

agreenhalgh@pellings.co.uk





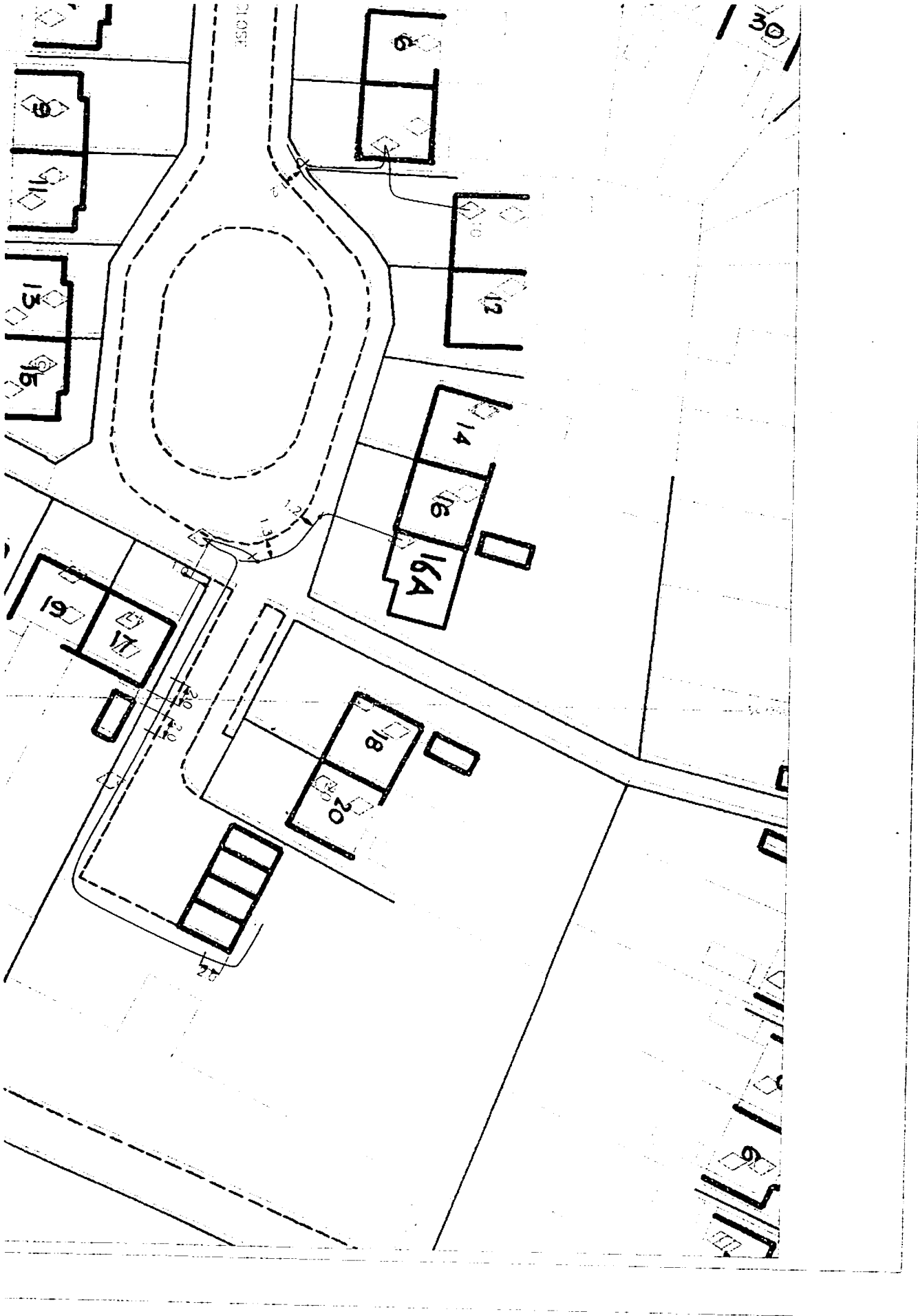
(c) Crown Copyright and database rights 2012 Ordnance Survey 100019345 Date: 23/10/13 Scale: 1:1083 Map Centre: 542209.5, 194836.2 Data updated: 16/08/13 Wastewater Plan A4

Based on the Ordnance Survey Map with the sanction of the Controller of H.M. Stationary Office License Number:- 100019345. This map is to be used for the purposes of viewing the location of Thames Water plant only. Any other uses of the map data or further copies are not permitted. The position of the apparatus shown on this plan is given without obligation and warranty, and the accuracy cannot be guaranteed. This information is valid for the date printed. Service pipes are not shown but their presence should be anticipated. No liability of any kind whatsoever is accepted by Thames Water for any error or omission. The actual position of mains and services must be verified on site before any works are undertaken.

	Foul Sewer
	Surface Sewer
	Combined Sewer
	Abandoned Sewer
	Pressure Main
	Private Asset (Colour denotes asset type)
	Proposed Asset (Colour denotes asset type)
	S104 Boundary
	Foot Manhole
	Surface Manhole
	Combined Manhole
	Abandoned Manhole
	Other Manhole
	End Item
	S104 Boundary

agreenthalgh@pellings.co.uk





Appendix E

Information on Possible Contamination

Information on possible contamination has been forwarded by Epping Forest District Council by way of email of 22nd May 2013, giving information on potential contamination across all the primary sites.

This clarifies possible ground contamination derived from asbestos, made ground, hydrocarbons, petroleum hydrocarbons and the like.

It is likely that any Planning Consent will carry a Condition that all contamination issues are to be remediated.

Accordingly, we recommend that initial site investigation is undertaken for all sites that move forward to Planning Applications.

Appendix F

Cost Build-up

Gross Internal floor area	m2	ft2
Affordable Flat Units	0	0
Allowance for communal space @ 20%	0	0
Affordable House Units	308	3,315
TOTAL GIA	308	3,315

Item	Element	Qty Unit	Rate £/unit	Total £
1.0 Demolition				
1.1	Demolition	55 m ²	50	2,754
2.2	Site clearance	1,087 m ²	10	10,868
1.2	Allowance for removal of asbestos	4 No	800	3,200
	Sub-total		say	20,000
2.0 Affordable Flat units (xx nr. units)				
2.1	Flats Private areas	0 m ²	1,350	0
2.2	Flats communal areas (20% allowed)	0 m ²	900	0
	Sub-total		say	0
3.0 Affordable House units (04 nr. units)				
3.1	House areas	308 m ²	1,250	385,000
	Sub-total		say	390,000
4.0 Abnormals / E/o and External Works				
4.1	Private gardens (incl. fencing)	240 m ²	40	10,000
4.2	Communal Gardens	244 m ²	30	7,000
4.3	Access road, parking and turning	475 m ²	65	31,000
4.4	Pedestrian paving	0 m ²	50	Incl.
4.5	Cross over / highways adaptations	2 item	2,000	4,000
4.6	Allowance for contaminated ground	0 item		Excl.
4.7	Boundary treatment (fencing/walls)	172 m	160	28,000
4.8	Allowance for achieving CfSh Level 3	4 nr	4,500	18,000
	Sub-total		say	100,000
		£/m2	£/ft2	
INDICATIVE CONSTRUCTION COST				510,000
CONTINGENCY @ 5%				30,000
CONTRACTORS DESIGN FEES @ 8%				43,200
PRELIMS AND OVERHEADS AT 15%				76,500
TOTAL INDICATIVE CONSTRUCTION COST				659,700
				2,142

Clarifications and Assumptions

Estimate based on Pellings Feasibility drawings and standard ETG specifications

GIA is approximate due to early stage of design

Costs are based on a Q3 2014 start on site

Costs are based on a Single Stage Competitive D&B procurement route

Costs are based on a Contractor 'best programme' contract period

All units assumed to achieve Code for sustainable Homes Level 3

It is assumed that a traditional construction (concrete strip foundations, brick/block walls, timber floor structure, sloped tiled roofs) will be used

Contractors design fees are based upon appointment with planning consent under JCT D&B contract

Assumed no Party Wall or Rights of Lights issues

Exclusions

Clients professional fees (including statutory fees)

VAT

Hazardous material removal

Excludes any off-site works

Provision of loose fittings and furnishings

Costs of compliance of any conditions imposed by TFL or other statutory bodies

Costs of Section 106, S108, S278 Agreement(s) or Community Infrastructure Levy charges

**East Thames Housing / Epping Forest District Council
Housing Delivery Programme**

Feasibility Report

Site: 354-380 (Garages) Whitehills Road, Loughton IG10 1TU

Rev: A

Ref: IJC/srs/612.023
Date: September 2014

Contents

1. Introduction and Confirmation of Brief
2. Existing Site and Surroundings
3. Proposals
4. Planning Issues and Risks
5. Impact/Implications of Statutory Services
6. Site Access and Buildability Issues
7. Neighbourly Matters and Party Walls
8. Proposed Procurement Route
9. Impact on Parking
10. Legals
11. Costs
12. Recommendations and Conclusions

Appendices

- A: Development Proposals – Drawings 612.023/P2-13A
- B: Site Photographs
- C: Existing Site Plan : 201206014 - AV
- D: Statutory Services Information
- E: Information on Possible Contamination
- F: Cost Build-up

1.0 Introduction and Confirmation of Brief

- 1.1. Pellings LLP are appointed as part of East Thames Group Technical Team in respect of delivery of Development Agent services to Epping Forest District Council for a six year housing delivery programme.
- 1.2. Following initial appraisal by EFDC, 59 sites have been identified as having possible development potential, with a further number of sites in reserve.
- 1.3. Pellings LLP have been instructed to progress feasibility studies to all 59 sites and which will assist in establishing the extent and timing of the overall programme.
- 1.4. Our instructions are in accordance with our fee tender of 13 August 2012, against the previously prepared tender documentation, and email confirmation of 9 April 2013.

2.0 Existing Site and Surroundings

- 2.1. The site is located in a residential area 750m to the north of Debden station in Loughton.
- 2.2. The site consists of 26 garages and hardstanding and it is accessed by way of a 2.5m driveway between properties on Whitehills Road. The site is adjoined by residential plots on three sides and a school on its southern side. The area in general consists of two storey family houses (semi-detached and detached) with front and rear gardens.
- 2.3. There are some mature trees on or adjacent to the site which may need to be recognised in final design.

3.0 Proposals

- 3.1. Read in conjunction with drawings 612.023.P2-13A attached at Appendix A.
- 3.2. The proposals are :

Erection of a 3 x two storey 3 bedroom detached houses each with gardens
Provision of 6 parking spaces and access/landscaping

4.0 Planning Issues and Risks

Relevant Planning Policies/Considerations

- 4.1. The adopted Development Plan for Epping Forest District Council is the Combined Local Plan 1998 and Local Plan Alterations 2006.
- 4.2. The site is not located in a Conservation Area and it is not designated for any particular purposes in the Epping Forest District Council Combined Local Plan 1998 and Local Plan Alterations 2006. The site does not lie in a Flood Zone on the Environment Agency Flood Map.
- 4.3. There are no specific policies which prevent the loss of existing garages although policy ST4 (Road Safety) states that planning permission will only be granted where there will be no adverse effects on the highway, traffic congestion or harm to the character or appearance of the area. Parking spaces to meet with the Council's standards are proposed for the new dwellings.

- 4.4. It will be necessary to undertake a Parking Survey and to prepare a Transport Statement to demonstrate that the loss of the garages and proposed development would not cause any parking shortfalls or harm to highway conditions or the amenities of the area.
- 4.5. The site is located in the settlement of Loughton and the proposal would be consistent with policy CP7 which encourages the efficient use of existing built-up areas by the 'recycling of vacant, derelict, degraded and under-used land to accommodate the development' and the 're-use of urban sites, which are no longer appropriate to their existing or proposed use in the foreseeable future, for alternative land uses'.
- 4.6. The proposal would comply with policy H4A which states the need for a range of dwellings, including an appropriate proportion of smaller dwellings, to meet identified housing need on a site-by-site basis.
- 4.7. The development of small family homes with rear gardens and private and communal parking would be in keeping with the character and appearance of the area and may comply with Epping Forest's design policies and guidance.

5.0 **Impact/Implications of Statutory Services**

5.1. We have undertaken statutory services enquiries to the following:

- Southern Gas
- Cable and Wireless
- Virgin Media
- Thames Water
- BT
- National Grid
- Scottish and Southern Energy
- Environment Agency
- UK Power Networks

5.2. Responses received to date are from the Environment Agency, National Grid, UK Power Networks, Virgin Media and Thames Water.

5.3. The Environment Agency has not pointed out any watercourses which cross the site.

5.3.1. National Grid: No apparatus appears to be located on the site.

5.3.2. UK Power Networks: There do not appear to be any installations on the site, although there is believed to be a substation adjacent to the site access road.

5.3.3. Virgin Media: No apparatus appears to be located on the site.

5.4. Thames Water: No drains or sewers are located on any part of the site.

5.5. It should be noted there are a number of responses to enquiries that, at time of preparation of this report, have not yet been received.

6.0 **Site Access and Buildability Issues**

6.1. The site is accessed from existing site roads and there would not appear to be any particular difficulties for the normal level and size of construction traffic associated with a development of this nature.

- 6.2. Areas should be available for contractor's site set up and accommodation.
- 6.3. The site is within a primarily residential area and, accordingly, any appointed contractor should use all best endeavours to act in a considerate manner and within normal working hours.
- 6.4. Further to initial enquiries made to EFDC, some potential contamination issues have been highlighted with use of the domestic garages.
- 6.5. Possible contaminants in respect of the previous use of the garage site may include asbestos, ash and clinker, hydro-carbons from vehicle maintenance and the like, please see Appendix E.
- 6.6. Accordingly, suitable site investigation will need to be undertaken ahead of any proposals to take this site forward and specific recommendations made to deal with any contamination found, whether by capping or removal from site.
- 6.7. The site is accessed by way of a narrow driveway and as at present, our proposals do not include a turning head for refuse or emergency vehicles. Accordingly, subject to detailed design, an independent refuse storage area may be required along with sprinkler provision to the new houses for fire protection.

7.0 Neighbourly Matters and Party Walls

- 7.1. As above, the proposed development site is within a primarily residential area and the appointed contractor should act in a considerate manner. It is proposed that restrictions on working hours, noise levels, requirement for resident liaison and similar matters will be included within contract documentation.
- 7.2. From proposals on Drawing 612.023/P2-13A it is not considered that Party Wall matters will be relevant to the development.

8.0 Proposed Procurement Route

- 8.1. It is understood that development works will be procured by way of the East Thames Housing Group existing contractor framework arrangements.
- 8.2. It is proposed that works shall be procured on a Design and Build basis with the contractors taking forward RIBA Stage D planning consent drawings into detailed design and construction delivery on site.
- 8.3. Schemes shall be designed to a set of Employer's Requirements to be subsequently confirmed but which substantially shall be formed from existing East Thames Housing Group Design Standards and Employer's Requirement documentation.
- 8.4. It is proposed that all site preparation works will be included within individual contract packages including any required demolitions, adjustment of statutory services, highways works and boundary maintenance/reinstatement/provision.
- 8.5. On completion of the feasibility studies for the whole programme, further recommendations will be made in terms of how works are packaged to ensure size of work packages are optimised for ensuring maximum economies for East Thames Housing Group and EFDC.

8.6. It is considered, at this stage, that this may be by way of a mix of different sized contractors dependent upon the numbers and geographical location of individual works packages.

8.7. Works will be administered by Pellings LLP as Employer's Agent acting in accordance with East Thames Housing Group terms of appointment and the overarching requirements of the Development Agency agreement.

9.0 **Impact on Parking**

9.1. The Council's currently adopted parking standards are contained within Essex County Council's Parking Standards Design and Good Practice Guide – September 2009. These revised standards were adopted by the Council as statutory planning guidance in February 2012.

9.2. Flats and houses have the same parking standard as follows:

- 1 bedroom accommodation – 1 space per dwelling
- 2 bedroom accommodation and above – 2 spaces per dwelling
- Visitor parking – 0.25 spaces per dwelling (rounded up to the nearest whole number)

9.3. The proposals may be considered to meet the Council's parking standards for new development.

9.4. However, should the site move forward to planning application stages, it is recommended that a Transport Statement be undertaken, including parking surveys, to demonstrate that the loss of the garages will not give rise to any planning or highway problems.

10.0 **Legals**

10.1. We have been provided with a Summary Report of legal matters from EFDC Solicitors. The report makes reference to the suggested appropriation of land for planning purposes which would extinguish any prior rights of way.

10.2. The report makes reference to possible rights of light risk. A blanket policy against such risk might be considered.


10.3. There is existing access from No. 70 Whitehills Road into a proposed private garden. However, it is advised that this would be extinguished on appropriation of the land.

11.0 **Costs**

11.1. It is considered that a budget of £612,000.00 should be allowed for this scheme, inclusive of contractor design fees, but exclusive of professional fees and VAT. Please refer to Appendix F.

12.0 **Recommendations and Conclusions**

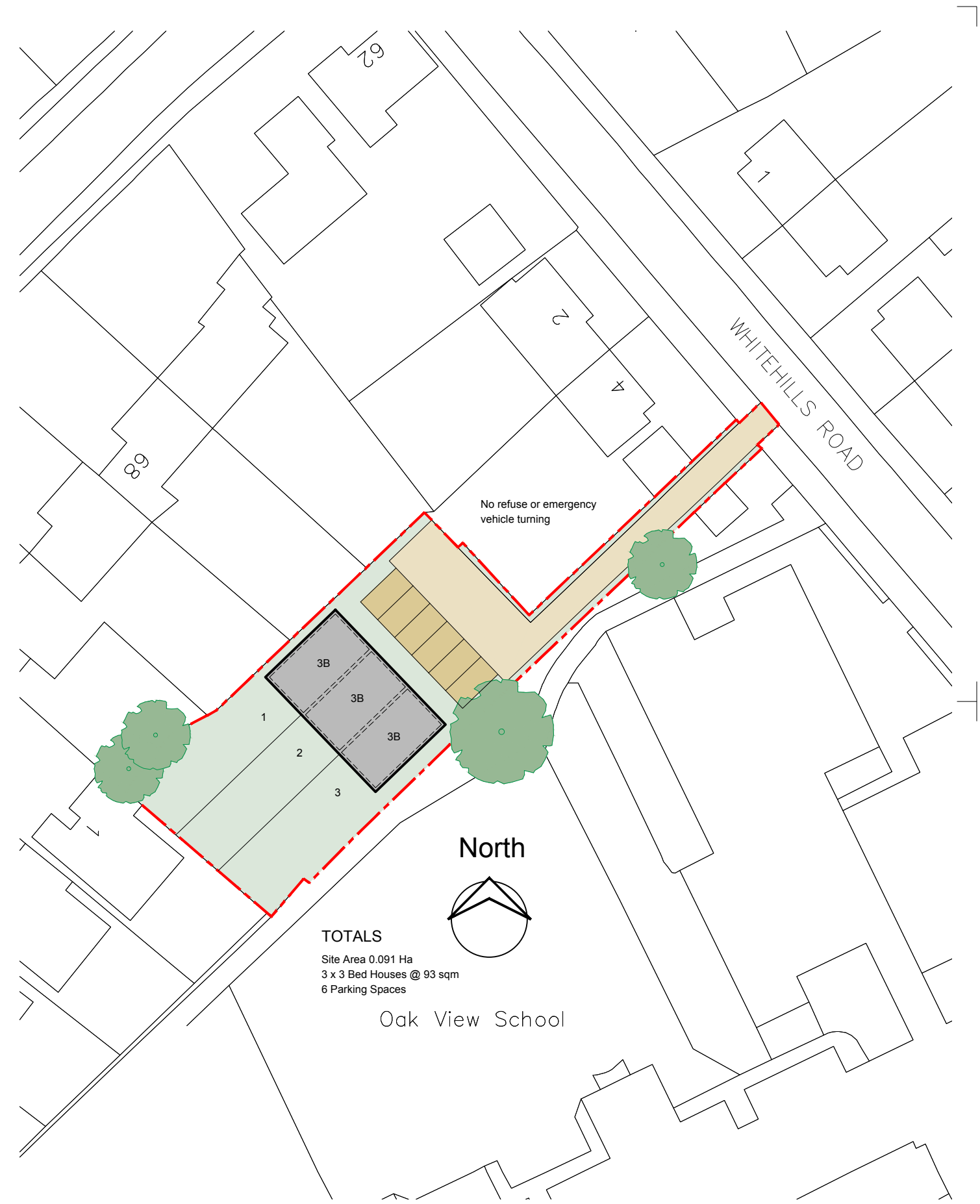
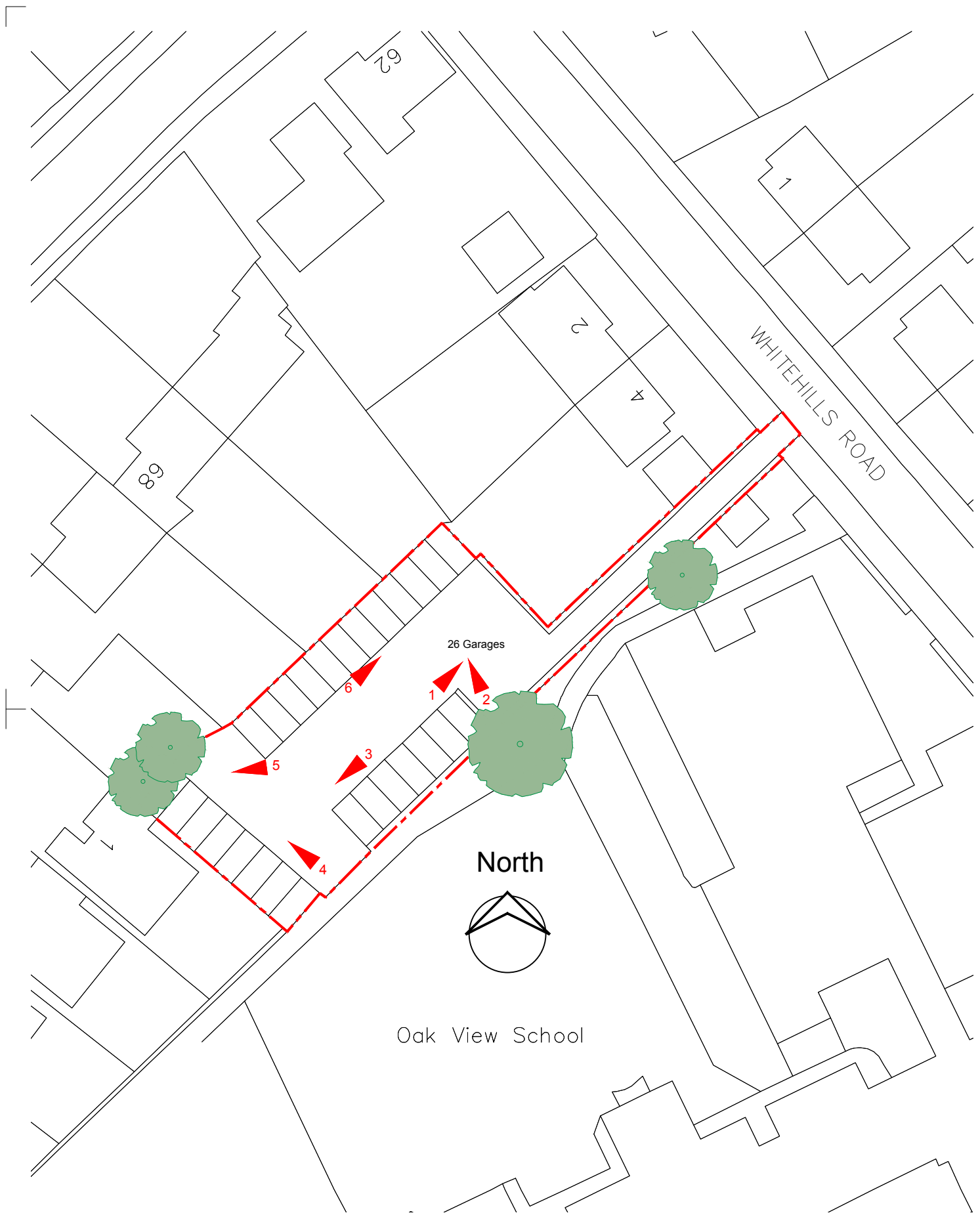
12.1. Subject to an overall lifetime cost appraisal, we conclude that the site appears to have economic development opportunities and we recommend is considered for taking forward to planning application stage, with a view to incorporating into the overall programme.

Signed:  Date: 1st October 2014
Pellings LLP

Appendix A

Development Proposals

Drawings 612.023/P2-13A



TOTALS
 Site Area 0.091 Ha
 3 x 3 Bed Houses @ 93 sqm
 6 Parking Spaces

NOTES:
 Report all discrepancies, errors and omissions
 Do not scale from this drawing.
 Verify all dimensions on site before commencing any work or preparing shop drawings.
 All materials, components and workmanship are to comply with all the relevant British Standards, Codes of Practice, and appropriate manufacturers recommendations that from time to time shall apply.
 For all specialist work, see relevant drawings.
 This drawing and design are copyright of PELLINGS LLP

PRELIMINARY
 Page 65

Rev	Date	Description	Name
-	---		



Pellings LLP 24 Widmore Road Bromley Kent BR1 1RY t 020 8460 9114 f 020 8313 0019 e bromley@pellings.co.uk www.pellings.co.uk		Architecture & Planning ■ Building Surveying ■ Project Management ■ Cost Consultancy ■ CDM Co-ordination			
CLIENT	East Thames HA	PROJECT	EFDC House Building Programme		
TITLE	Existing and Proposed Plans Whitehills Road	DATE	NOV 2013	SCALE	1:500 @A3
		DRAWN	NP	CHK	
DRAWING No		612 023 P2-13 A			

Appendix B

Site Photographs

Appendix B - Site Photographs

1.



2.



3.



4.



5.

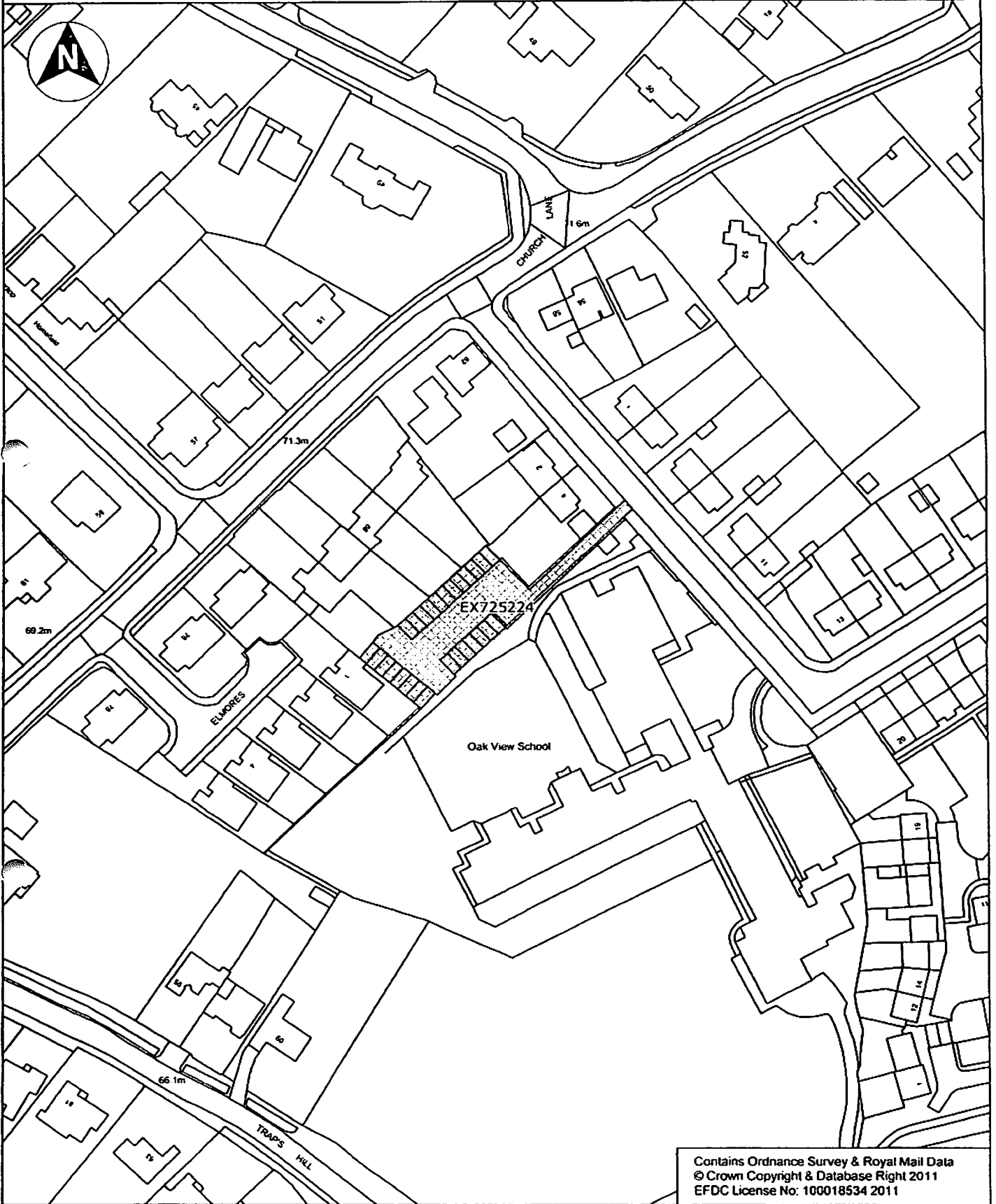


6.



Appendix C

Existing Site Plan



Contains Ordnance Survey & Royal Mail Data
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 EFDC License No: 100018534 2011

<p>Directorate of Environment & Street Scene Civic Offices High Street Epping, Essex, CM16 4BZ Tel. 01992 564000</p>	<p>Project Potential Site for Council House Building Program</p> <p>Drawing No. 201206014 - AV</p>	<p>Content White Hills Loughton</p>	<p>Date 04/07/12</p> <p>Scale 1:1250 @ A4</p> <p>Drawn By Robert Irwin</p>
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Appendix D

Statutory Services Information

Appendix E

Information on Possible Contamination

Information on possible contamination has been forwarded by Epping Forest District Council by way of email of 22nd May 2013, giving information on potential contamination across all the primary sites.

This clarifies possible ground contamination derived from asbestos, made ground, hydrocarbons, petroleum hydrocarbons and the like.

It is likely that any Planning Consent will carry a Condition that all contamination issues are to be remediated.

Accordingly, we recommend that initial site investigation is undertaken for all sites that move forward to Planning Applications.

Appendix F

Cost Build-up

Whitehills Road, Epping Forest
 Indicative Estimate of Cost
 for East Thames HA



Friday, 6 December 13

Gross Internal floor area	m2	ft2
Affordable Flat Units	0	0
Allowance for communal space @ 20%	0	0
Affordable House Units	279	3,003
TOTAL GIA	279	3,003

Item	Element	Qty Unit	Rate £/unit	Total £
1.0 Demolition				
1.1	Demolition	340 m ²	50	16,976
2.2	Site clearance	600 m ²	10	6,000
1.2	Allowance for removal of asbestos	26 Per roof	1,000	26,000
	Sub-total		say	50,000
2.0 Affordable Flat units (xx nr. units)				
2.1	Flats Private areas	0 m ²	1,350	0
2.2	Flats communal areas (20% allowed)	0 m ²	900	0
	Sub-total		say	0
3.0 Affordable House units (03 nr. units)				
3.1	House areas	279 m ²	1,250	349,000
	Sub-total		say	350,000
4.0 Abnormals / E/o and External Works				
4.1	Private gardens (incl. fencing)	465 m ²	40	19,000
4.2	Communal Gardens	56 m ²	30	2,000
4.3	Access road, parking and turning	269 m ²	65	17,000
4.4	Pedestrian paving	0 m ²	50	Incl.
4.5	Cross over / highways adaptations	1 item	2,000	2,000
4.6	Allowance for contaminated ground	0 item		Excl.
4.7	Boundary treatment (fencing/walls)	187 m	160	30,000
4.8	Allowance for achieving CfSh Level 3	3 nr	4,500	14,000
	Sub-total		say	80,000
			£/m2	£/ft2
	INDICATIVE CONSTRUCTION COST			480,000
	CONTINGENCY @ 5%			20,000
	CONTRACTORS DESIGN FEES @ 8%			40,000
	PRELIMS AND OVERHEADS AT 15%			72,000
	TOTAL INDICATIVE CONSTRUCTION COST		2,194	612,000

Clarifications and Assumptions

Estimate based on Pellings Feasibility drawings and standard ETG specifications

GIA is approximate due to early stage of design

Costs are based on a Q3 2014 start on site

Costs are based on a Single Stage Competitive D&B procurement route

Costs are based on a Contractor 'best programme' contract period

All units assumed to achieve Code for sustainable Homes Level 3

It is assumed that a traditional construction (concrete strip foundations, brick/block walls, timber floor structure, sloped tiled roofs) will be used

Contractors design fees are based upon appointment with planning consent under JCT D&B contract

Assumed no Party Wall or Rights of Lights issues

Exclusions

Clients professional fees (including statutory fees)

VAT

Asbestos (except removal of low risk asbestos roofs priced above) and hazardous material removal

Excludes any off-site works

Provision of loose fittings and furnishings

Costs of compliance of any conditions imposed by TFL or other statutory bodies

Costs of Section 106, S108, S278 Agreement(s) or Community Infrastructure Levy charges

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East Thames Housing / Epping Forest District Council
Housing Delivery Programme

Feasibility Report

**Site: 1-24 (Garages) Hornbeam Close, Buckhurst Hill IG9 6JS
(Site A)**

Rev: A

Ref: IJC/dh/612.023
Date: September 2014

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1. Introduction and Confirmation of Brief
2. Existing Site and Surroundings
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Appendices

- A: Development Proposals – Drawings 612.023/P2-1A
- B: Site Photographs
- C: Existing Site Plan 20120014-B
- D: Statutory Services Information
- E: Information on Possible Contamination
- F: Cost Build-up

1.0 Introduction and Confirmation of Brief

- 1.1. Pellings LLP are appointed as part of East Thames Group Technical Team in respect of delivery of Development Agent services to Epping Forest District Council for a six year housing delivery programme.
- 1.2. Following initial appraisal by EFDC, 59 sites have been identified as having possible development potential, with a further number of sites in reserve.
- 1.3. Pellings LLP have been instructed to progress feasibility studies to all 59 sites and which will assist in establishing the extent and timing of the overall programme.
- 1.4. Our instructions are in accordance with our fee tender of 13 August 2012, against the previously prepared tender documentation, and email confirmation of 9 April 2013.

2.0 Existing Site and Surroundings

- 2.1. The site is located on the eastern side of Buckhurst Hill in a residential area comprising houses and flats approximately 500m south of Buckhurst Hill station.
- 2.2. The site consists of 24 garages and hardstanding and it is accessed by way of a 7m wide entrance at the end of Hornbeam Close. The site adjoins residential plots (semi-detached dwellings with rear gardens) to the north and west. Cascade Close to the north consists of semi-detached and detached two storey houses with gardens and 2-40 Hornbeam Close to the south is a five storey block of flats with communal amenity space. To the east is open space.
- 2.3. There is a mature tree to the right hand side as you enter the site.
- 2.4. Please refer to Appendix B, Photographs of the existing site, locations cross referenced to Appendix A.

3.0 Proposals

- 3.1. Read in conjunction with drawings 612.023.P2-1A attached at Appendix A.
- 3.2. The proposals are :
 - 1 x 3 bed house, 2 storey
 - 2 x 2 bed houses, 2 storey
 - Provision of 7 parking spaces and garden/landscaped areas

4.0 Planning Issues and Risks

Relevant Planning Policies/Considerations

- 4.1. The adopted Development Plan for Epping Forest District Council is the Combined Local Plan 1998 and Local Plan Alterations 2006.
- 4.2. The site is not located in a Conservation Area it is not designated for any particular purposes in the Epping Forest District Council Combined Local Plan 1998 and Local Plan Alterations 2006. The site does not lie in a Flood Zone on the Environment Agency Flood Map.

- 4.3. There are no specific policies which prevent the loss of existing garages although policy ST4 (Road Safety) states that planning permission will only be granted where there will be no adverse effects on the highway, traffic congestion or harm to the character or appearance of the area. Parking spaces to meet with the Council's standards are proposed for the new dwellings.
- 4.4. It will be necessary to undertake a Parking Survey and to prepare a Transport Statement to demonstrate that the loss of the garages and proposed development would not cause any parking shortfalls or harm to highway conditions or the amenities of the area.
- 4.5. The site is located in the settlement of Buckhurst Hill and the proposal would be consistent with policy CP7 which encourages the efficient use of existing built-up areas by the 'recycling of vacant, derelict, degraded and under-used land to accommodate the development' and the 're-use of urban sites, which are no longer appropriate to their existing or proposed use in the foreseeable future, for alternative land uses'.
- 4.6. The proposal would comply with policy H4A which states the need for a range of dwellings, including an appropriate proportion of smaller dwellings, to meet identified housing need on a site-by-site basis.
- 4.7. The development of small family homes with rear gardens and private and communal parking would be in keeping with the character and appearance of the area and may comply with Epping Forest's design policies and guidance.
- 4.8. There is a potential Right of Way running East to West across the site.
- 4.9. Adjacent development is somewhat raised relevant to the site, and could potentially increase the risk of overlooking issues.

5.0 **Impact/Implications of Statutory Services**

- 5.1. We have undertaken statutory services enquiries to the following:
- Southern Gas
 - Cable and Wireless
 - Virgin Media
 - Thames Water
 - BT
 - National Grid
 - Scottish and Southern Energy
 - Environment Agency
 - UK Power Networks
- 5.2. Responses received to date are from the Environment Agency, National Grid, UK Power Networks, Virgin Media and Thames Water.
- 5.3. The Environment Agency do not note any significant constraints but recommend measures to achieve water efficiency and the use of Sustainable Urban Drainage systems.
- 5.3.1. National Grid: No apparatus appears to cross the site
- 5.3.2. UK Power Networks: No apparatus appears to cross the site

- 5.3.3. Virgin Media: No apparatus appears to cross the site
- 5.4. Thames Water: No apparatus appears to cross the site. A sewer runs below the northern boundary of the site.
- 5.5. It should be noted there are a number of responses to enquiries that, at time of preparation of this report, have not yet been received.

6.0 **Site Access and Buildability Issues**

- 6.1. The site is accessed from existing site roads and there would not appear to be any particular difficulties for the normal level and size of construction traffic associated with a development of this nature.
- 6.2. Areas should be available for contractor's site set up and accommodation.
- 6.3. The site is within a primarily residential area, and accordingly, any appointed contractor should use all best endeavours to act in a considerate manner and within normal working hours.
- 6.4. Further to initial enquiries made to EFDC, some potential contamination issues have been highlighted with use of the domestic garages, and also a former horticultural nursery. Possible contaminants in respect of the former use as a nursery are summarised and indicated within the note produced by EFDC Planning and Economic Development Directorate at Appendix E.
- 6.5. Possible contaminants in respect of the previous use of the garage site may include asbestos, ash and clinker, hydro-carbons from vehicle maintenance and the like.
- 6.6. Accordingly, suitable site investigation will need to be undertaken ahead of any proposals to take this site forward and specific recommendations made to deal with any contamination found, whether by capping or removal from site.

7.0 **Neighbourly Matters and Party Walls**

- 7.1. As above, the proposed development site is within a primarily residential area and the appointed contractor should act in a considerate manner. It is proposed that restrictions on working hours, noise levels, requirement for resident liaison and similar matters will be included within contract documentation.
- 7.2. From proposals on Drawing 612.023.P2-1A, Party Wall matters will be relevant to development, particularly adjacent to No. 6 Cascade Close.
- 7.3. Confirmation of ownership will be required in due course.
- 7.4. Such Party Wall matters may be undertaken ahead of the build contract by direct appointment by EFDC, or included as a requirement for the contractor to deal with within the build contract. This later approach, however, would carry increased risk to programme and cost.

8.0 **Proposed Procurement Route**

- 8.1. It is understood that development works will be procured by way of the East Thames Housing Group existing contractor framework arrangements.

- 8.2. It is proposed that works shall be procured on a Design and Build basis with the contractors taking forward RIBA Stage D planning consent drawings into detailed design and construction delivery on site.
- 8.3. Schemes shall be designed to a set of Employer's Requirements to be subsequently confirmed but which substantially shall be formed from existing East Thames Housing Group Design Standards and Employer's Requirement documentation.
- 8.4. It is proposed that all site preparation works will be included within individual contract packages including any required demolitions, adjustment of statutory services, highways works and boundary maintenance/reinstatement/provision.
- 8.5. On completion of the feasibility studies for the whole programme, further recommendations will be made in terms of how works are packaged to ensure size of work packages are optimised for ensuring maximum economies for East Thames Housing Group and EFDC.
- 8.6. It is considered, at this stage, that this may be by way of a mix of different sized contractors dependent upon the numbers and geographical location of individual works packages.
- 8.7. Works will be administered by Pellings LLP as Employer's Agent acting in accordance with East Thames Housing Group terms of appointment and the overarching requirements of the Development Agency agreement.

9.0 **Impact on Parking**

- 9.1. The Council's currently adopted parking standards are contained within Essex County Council's Parking Standards Design and Good Practice Guide – September 2009. These revised standards were adopted by the Council as statutory planning guidance in February 2012.
- 9.2. Flats and houses have the same parking standard as follows:
- 1 bedroom accommodation – 1 space per dwelling
 - 2 bedroom accommodation and above – 2 spaces per dwelling
 - Visitor parking – 0.25 spaces per dwelling (rounded up to the nearest whole number)

9.3. The proposals would appear to more than meet the Council's parking standards for new development.

9.4. However, should the site move forward to planning application stages, it is recommended that a Transport Statement be undertaken, including parking surveys, to demonstrate that the loss of the garages will not give rise to any planning or highway problems.

10.0 **Legals**

10.1. We have been provided with a Summary Report of legal matters from EFDC Solicitors. The report makes reference to the suggested appropriation of land for planning purposes which would extinguish any prior rights of way.

10.2. The report makes reference to possible rights of light risk. A blanket policy against such risk might be considered.

10.3. There is reference to an existing footpath within the Housing Management Report. However, this is unaffected by proposals.


11.0 **Costs**

11.1. It is considered that a budget of £543,120.00 should be allowed for this scheme, inclusive of contractor design fees, but exclusive of professional fees and VAT. Please refer to Appendix F.

12.0 **Recommendations and Conclusions**

12.1. Subject to an overall lifetime cost appraisal, we conclude that the site appears to have economic development opportunities and we recommend is considered for taking forward to planning application stage, with a view to incorporating into the overall programme.

Signed:


.....

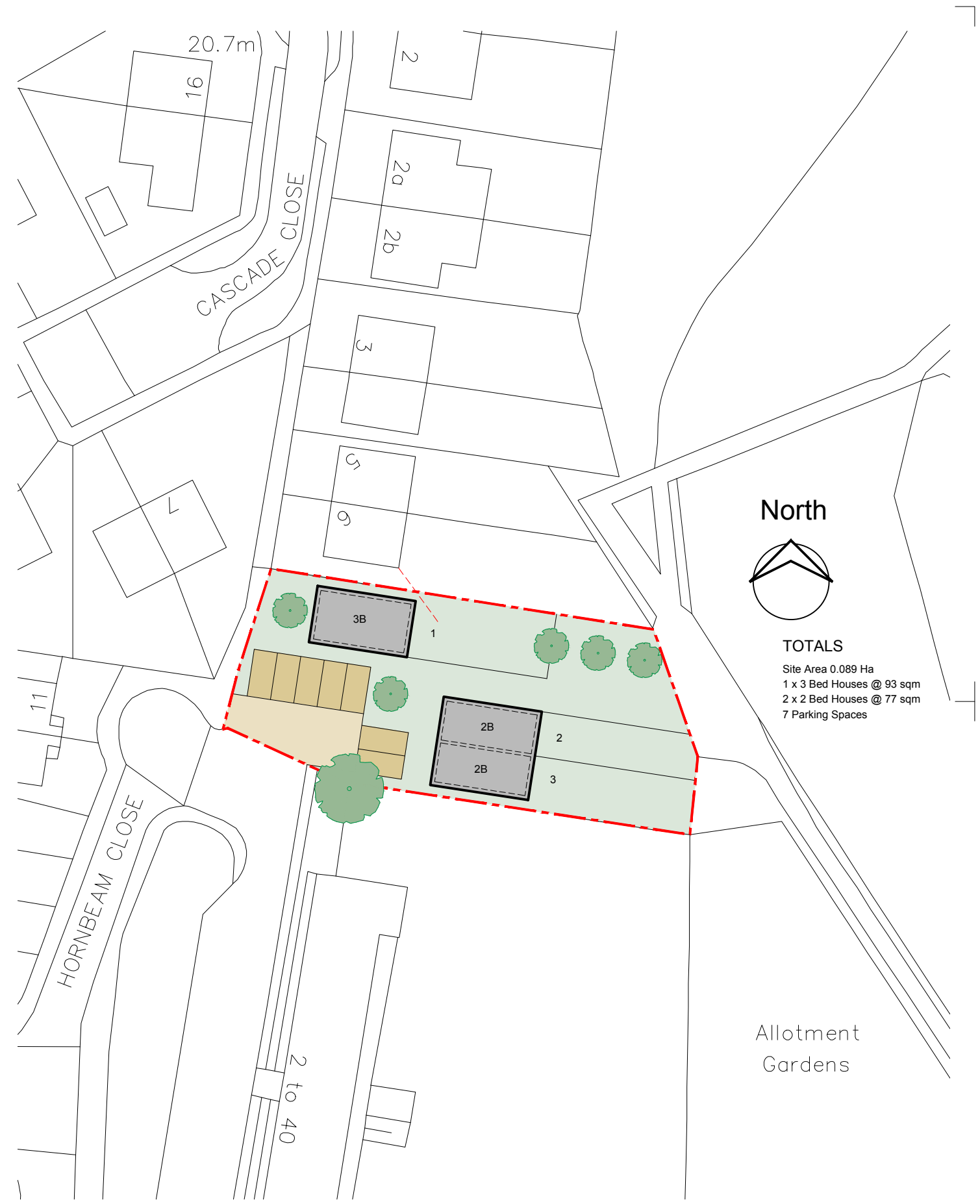
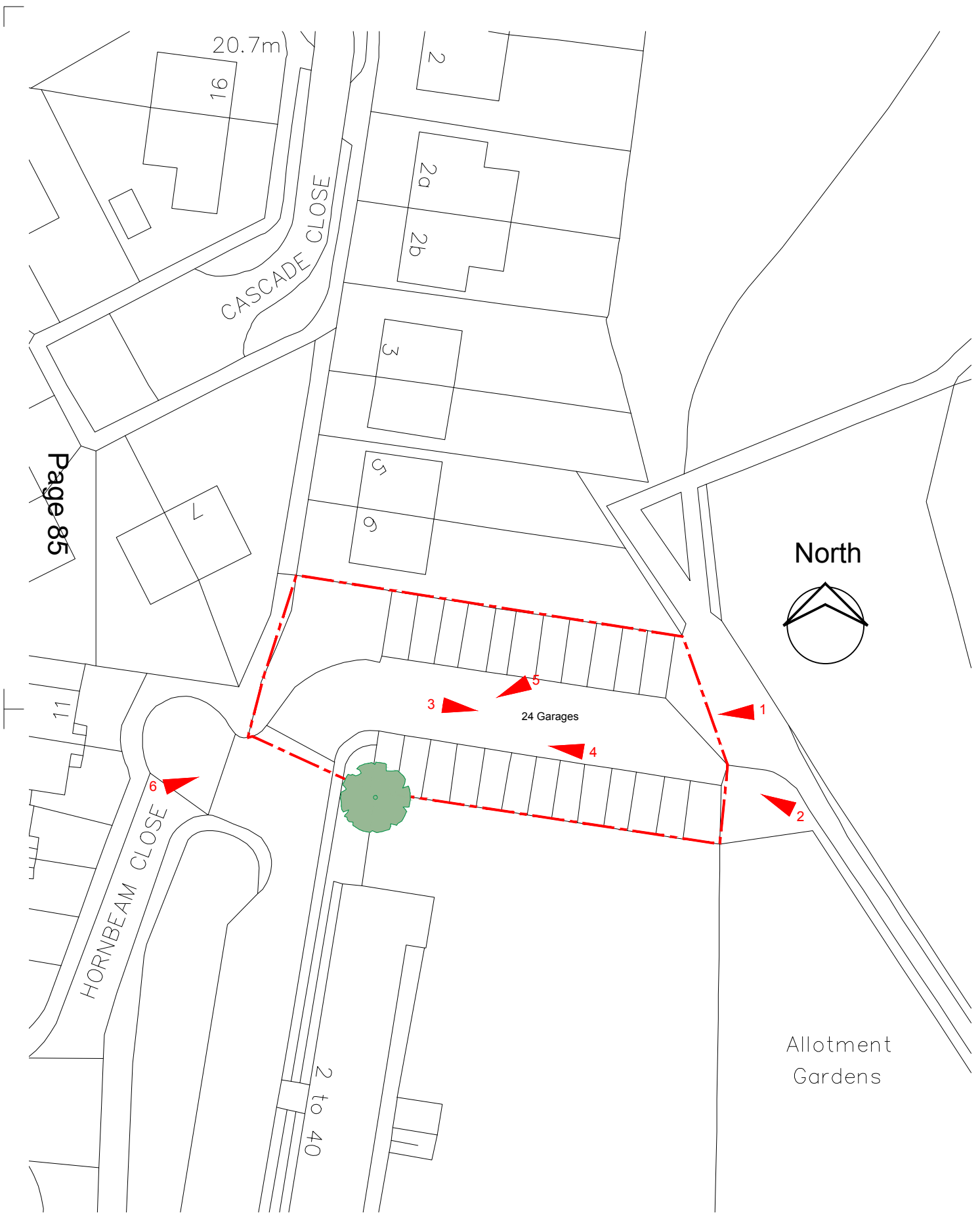
Pellings LLP

Date: 1st October 2014
.....

Appendix A

Development Proposals

Drawings 612.023.P2-1A



TOTALS
 Site Area 0.089 Ha
 1 x 3 Bed Houses @ 93 sqm
 2 x 2 Bed Houses @ 77 sqm
 7 Parking Spaces

NOTES:
 Report all discrepancies, errors and omissions
 Do not scale from this drawing.
 Verify all dimensions on site before commencing any work or preparing shop drawings.
 All materials, components and workmanship are to comply with all the relevant British Standards, Codes of Practice, and appropriate manufacturers recommendations that from time to time shall apply.
 For all specialist work, see relevant drawings.
 This drawing and design are copyright of PELLINGS LLP

PRELIMINARY

Rev	Date	Description	Name
-	-/-/-		



Pellings LLP 24 Widmore Road Bromley Kent BR1 1RY t 020 8460 9114 f 020 8313 0019 e bromley@pellings.co.uk www.pellings.co.uk		Architecture & Planning ■ Building Surveying ■ Project Management ■ Cost Consultancy ■ CDM Co-ordination			
CLIENT	East Thames HA	PROJECT	EFDC House Building Programme		
TITLE	Existing and Proposed Plans Hornbeam Close	DATE	NOV 2013	SCALE	1:500 @A3
		DRAWN	NP	CHK	
		DRAWING No	612 023 P2-1	A	

Appendix B

Site Photographs

Appendix B - Site Photographs

1.



2.



3.



4.



5.

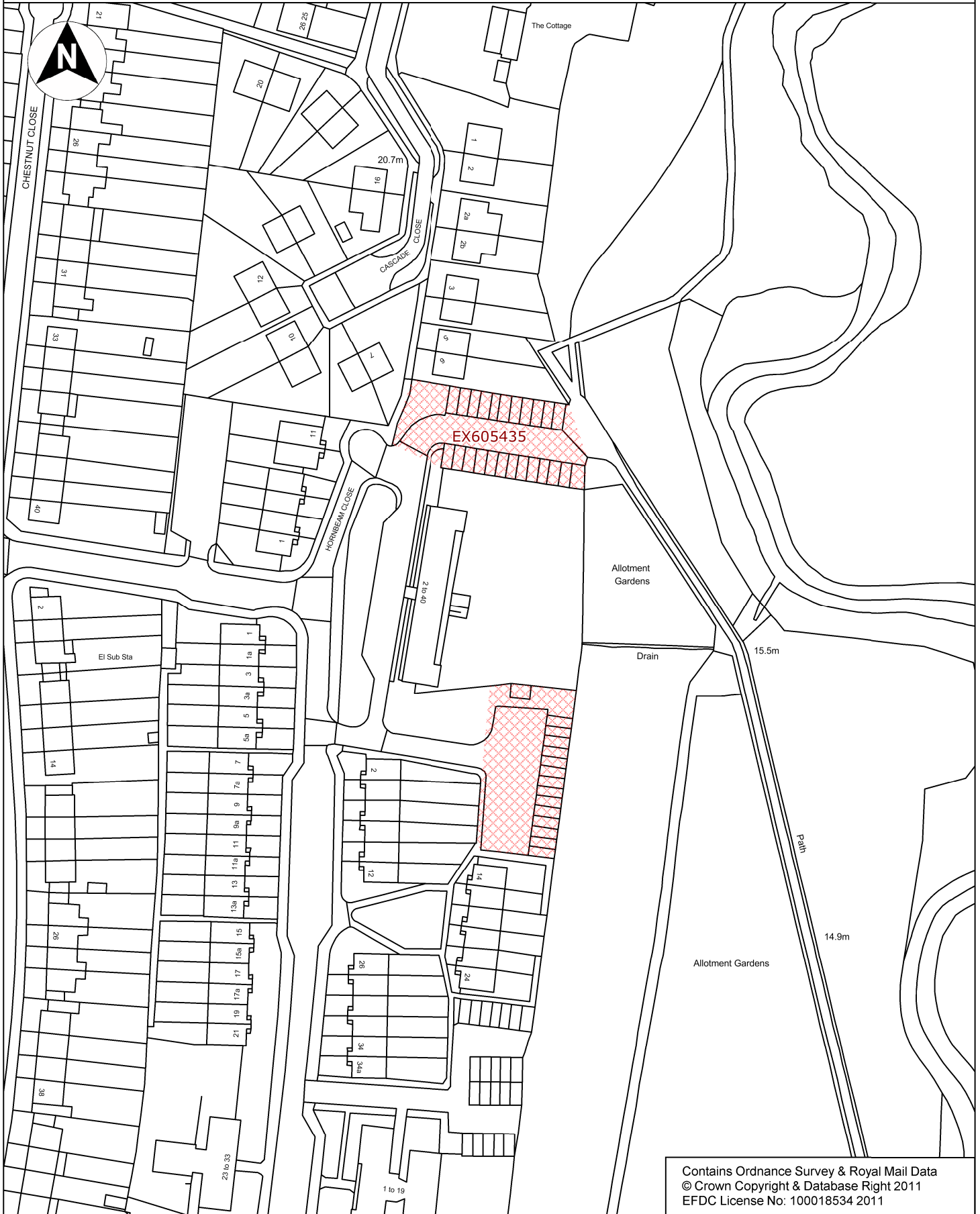


6.



Appendix C

Existing Site Plan



Contains Ordnance Survey & Royal Mail Data
© Crown Copyright & Database Right 2011
EFDC License No: 100018534 2011

Directorate of Environment & Street Scene
Civic Offices
High Street
Epping, Essex,
CM16 4BZ
Tel. 01992 564000

Project
Potential Site for Council House
Building Program

Drawing No. **Page 91**
201206014 - B

Content
Hornbeam Close
Buckhurst Hill

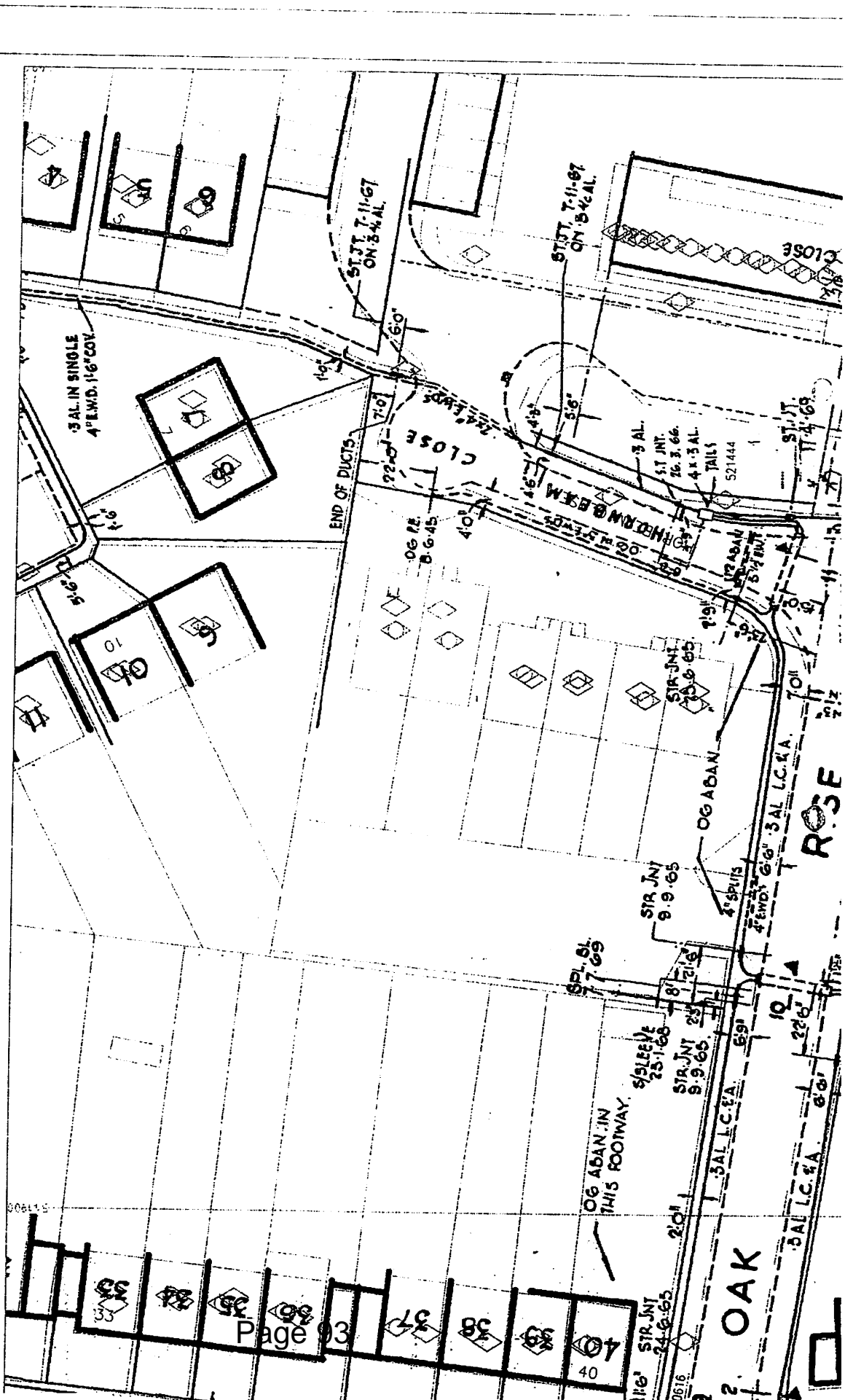
Date
04/07/12

Scale
1:1250 @ A4

Drawn By
Robert Irwin

Appendix D

Statutory Services Information



OAK

ROSE

506115

OG ABAN IN THIS ROOFWAY

END OF DUCTS

3 AL IN SINGLE 4\"/>

ST. JT. 7-11-67 ON 3\"/>

ST. JT. 7-11-67 ON 3\"/>

5\"/>

ST. JNT 9-9-65

SPL. SL 7-7-69

ST. JNT 9-9-65

OG ABAN

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3 AL L.C.K.A.

ST. JT. 7-11-67

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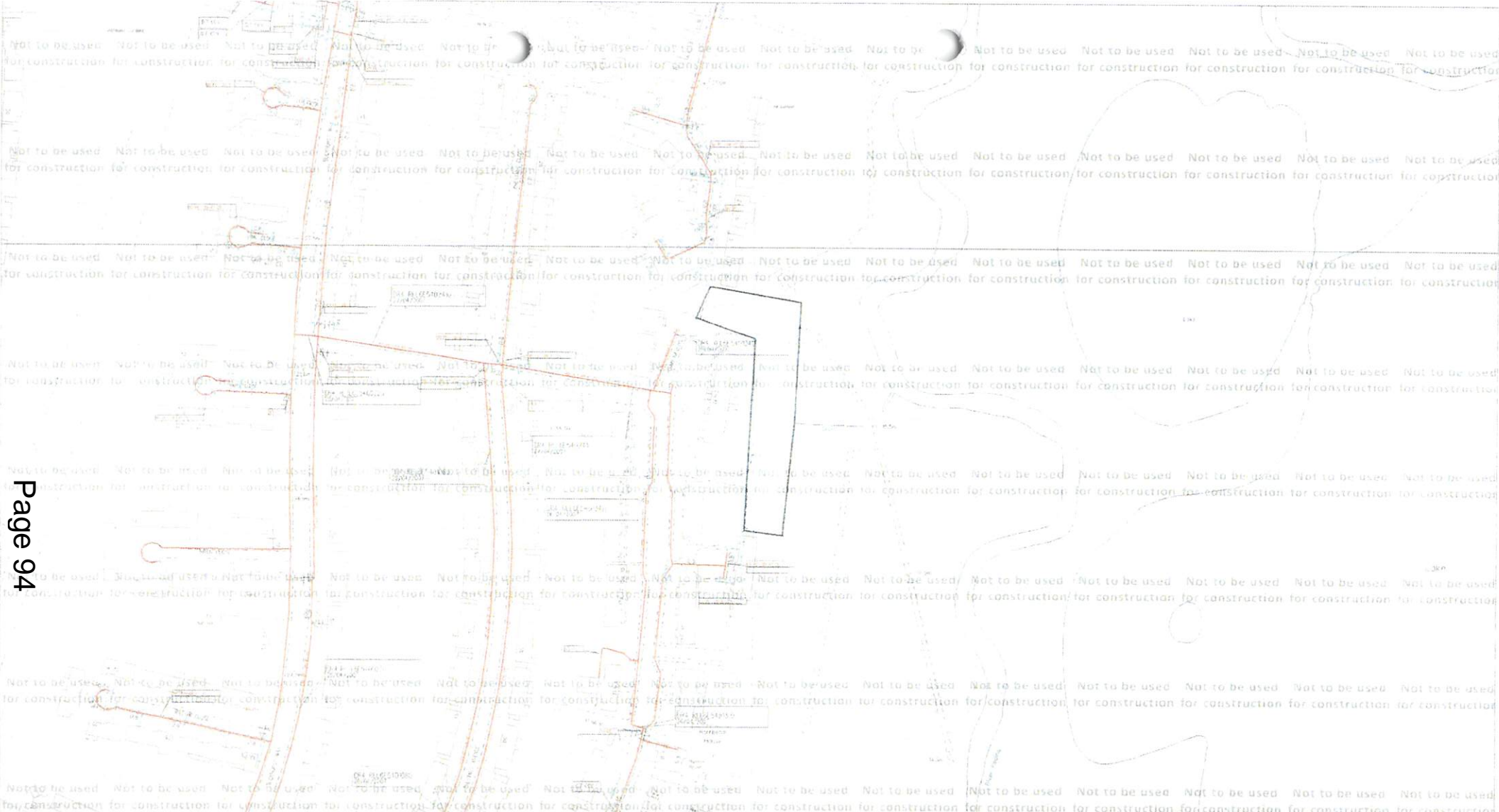
OG ABAN

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OG ABAN

OG ABAN



ID: NL_TE_Z6_3SW_042143		View extent: 723m, 393m	
USER: roy.x.jones	LP MAINS		<p>0m 50m</p> <p>Approximate scale 1:2500 on A4 Colour Landscape</p>
DATE: 24/10/2013	MP MAINS		
DATA DATE: 15/10/2013	IP MAINS		
REF: HORNBEAM CLOSE	LHP MAINS		
MAP REF: TQ4193	NHP MAINS		
CENTRE: 541998, 193421			

Map not to be used for construction

This plan shows those pipes owned by National Grid Gas plc in its role as a Licensed Gas Transporter (GT). Gas pipes owned by other GTs, or otherwise privately owned, may be present in this area. Information with regard to such pipes should be obtained from the relevant owners. The information shown on this plan is given without warranty, the accuracy thereof cannot be guaranteed. Service pipes, valves, syphons, stub connections, etc., are not shown but their presence should be anticipated. No liability of any kind whatsoever is accepted by National Grid Gas plc or their agents, servants or contractors for any error or omission. Safe digging practices, in accordance with HS(G)47, must be used to verify and establish the actual position of mains, pipes, services and other apparatus on site before any mechanical plant is used. It is your responsibility to ensure that this information is provided to all persons (either direct labour or contractors) working for you on or near gas apparatus. The information included on this plan should not be referred to beyond a period of 28 days from the date of issue.

Map 1 of 1 (GAS)

MAPS Plot Server Version 1.7.6

Requested by: Pellings

This plan is reproduced from or based on the OS map by National Grid Gas plc, with the sanction of the controller of HM Stationery Office.
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Adam Greenhalgh

From: SPHatfield <SPHatfield@environment-agency.gov.uk>
Sent: 23 October 2013 17:49
To: Adam Greenhalgh
Subject: RE: Epping Forest DC - potential development sites

Dear Adam,

Further to your letters dated 16 October (your ref: AG/dh/612.023/05), we have the following comments to make on the specific sites listed below (please note that comments on three sites – Rear of shops, Loughton Way, Buckhurst Hill; Pentlow Way, Buckhurst Hill and Site B, Marlescroft Way, Loughton – will follow on or before 7 November due to additional site constraints).

Sites: Burton Road, Debden
White Hills, Loughton
Thatchers Close, Loughton
Site A, Pyries (**note:** should be 'Pyrles') Lane, Loughton
Site B, Pyries (**note:** should be 'Pyrles') Lane, Loughton
Site A, Chequers Road, Loughton
Site B, Chequers Road, Loughton
Site A, Langley Meadow, Loughton
Site B, Langley Meadow, Loughton
Hornbeam Close, Buckhurst Hill
Hornbeam House, Hornbeam Road, Buckhurst Hill
Bourne House, Hornbeam Road, Buckhurst Hill
Bushfields, Loughton
Etheridge Road, Loughton
Lower Alderton Hall Lane, Loughton
Ladyfields, Loughton
Kirby Close, Loughton
Chester Road, Loughton
Hillyfields, Loughton

Comments

As we are in an area of serious water stress, we endorse the efficient use of water resources. Residential developments such as your proposal should take advantage of water efficient technologies. This is in line with Epping Forest's local policy CP5 which states that the efficient use of water is encouraged through water efficient appliances and rainwater harvesting for example.

Every opportunity should be taken to maximise Sustainable Drainage Systems (SuDS) such as green roofs, ponds, swales and permeable pavements, to alleviate surface water runoff. I have attached a copy of our SuDS guidance, which contains the SuDS hierarchy, to help you with your designs. The methods at the top of the hierarchy are preferred because they are beneficial in terms of sustainability and biodiversity. The hierarchy should be used in descending order. Tanks should only be used as a last resort. Epping Forest's local policy U3B on sustainable drainage systems advocates this approach.

As the sites are all under a hectare in Flood Zone 1, they fall within cell F5 of our Flood Risk Standing Advice consultation matrix. Epping Forest Local Planning Authority will therefore be responsible for assessing flood risk at these sites.


Kind regards,

Clark Gordon
Sustainable Places Planning Advisor
Environment Agency
North East Thames Area - Hatfield Team
01707 632308



The climate is changing. Are you?

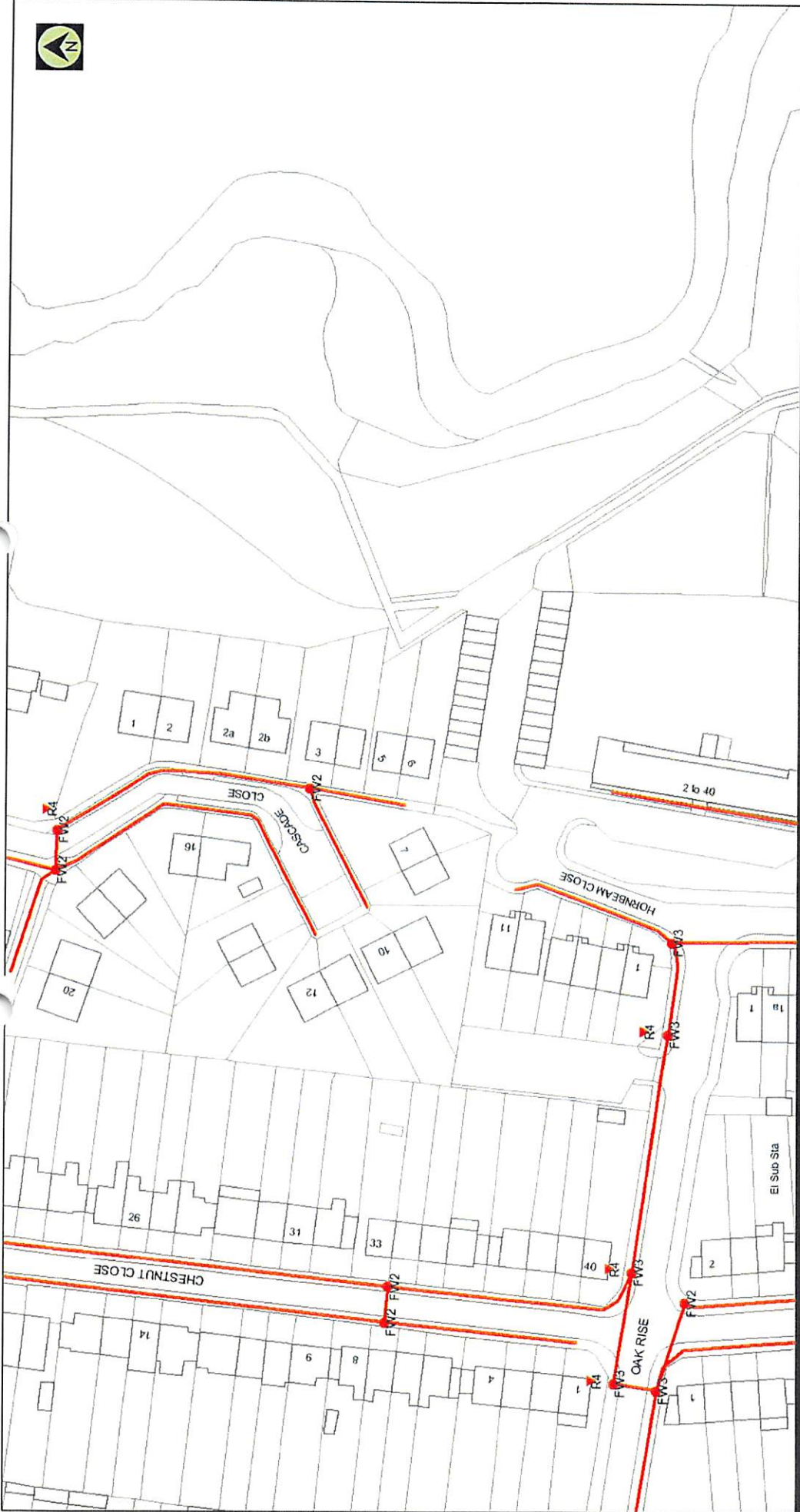
A support service led by the Environment Agency
www.environment-agency.gov.uk/climate-ready

 please consider the environment - do you really need to print this email?

Information in this message may be confidential and may be legally privileged. If you have received this message by mistake, please notify the sender immediately, delete it and do not copy it to anyone else.

We have checked this email and its attachments for viruses. But you should still check any attachment before opening it.

We may have to make this message and any reply to it public if asked to under the Freedom of Information Act, Data Protection Act or for litigation. Email messages and attachments sent to or from any Environment Agency address may also be accessed by someone other than the sender or recipient, for business purposes.



agreenhalgh@pellings.co.uk

Date: 24/10/13

Map Centre: 541988,193484.6

Scale: 1:1083

Date: 25/08/13

(c) Crown Copyright and database rights 2011 Ordnance Survey 100019209

Important information - please read
 The purpose of this plan is to identify Virgin Media apparatus. We have tried to make it as accurate as possible but we cannot guarantee that the positions of all underground ducts, trenches, manholes, cabinets and other apparatus are correct. Power cables have been placed inside green, rather than black, ducts. Further details can be found using the 'Allcable' Postcodes.pdf, which can be downloaded from the website.
 Therefore, you must not rely solely on this plan if you are carrying out any excavation or other works in the vicinity of Virgin Media apparatus. The actual position of any underground service must be verified by cable detection equipment, etc. and established on site before any mechanical plant is used. Accordingly, unless it is due to the negligence of Virgin Media, its employees or agents, Virgin Media shall not be liable for any damage or loss of service to any premises or telecommunications in the plan or for any loss or damage caused or arising from the use of any or any reliance on this plan.
 This plan is produced by Virgin Media Limited from Ordnance Survey © Crown Copyright 100019209

Cabinet

Chamber

Duct, Trench



(c) Crown Copyright and database rights 2012 Ordnance Survey 100019345 Date: 23/10/13 Scale: 1:1083 Map Centre: 541988,193484.6 Data updated: 16/08/13 Clean Water Plan A4

Based on the Ordnance Survey Map with the sanction of the Controller of H.M. Stationary Office License Number:- 100019345. This map is to be used for the purposes of viewing the location of Thames Water plant only. Any other uses of the map data or further copies are not permitted. The position of the apparatus shown on this plan is given without obligation and warranty, and the accuracy cannot be guaranteed. This information is valid for the date printed. Service pipes are not shown but their presence should be anticipated. No liability of any kind whatsoever is accepted by Thames Water for any error or omission. The actual position of mains and services must be verified on site before any works are undertaken.

Water Main		Meter	
Private Water		Valve	
Proposed Water		Hydrant	
Abandoned Asset		End Item	

agreenhalgh@pellings.co.uk





Date: 23/10/13

Scale: 1:1083

Map Centre: 541988, 193484.6

Data updated: 16/08/13

(c) Crown Copyright and database rights 2012 Ordnance Survey 100019345

agreenhalgh@peellings.co.uk

	Foul Manhole
	Surface Manhole
	Combined Manhole
	Abandoned Manhole
	Other Manhole
	End Item
	S104 Boundary
	Foul Sewer
	Surface Sewer
	Combined Sewer
	Abandoned Sewer
	Pressure Main
	Private Asset (Colour denotes effluent type)
	Proposed Asset (Colour denotes effluent type)

Based on the Ordnance Survey Map with the sanction of the Controller of H.M. Stationary Office License Number:- 100019345. This map is to be used for the purposes of viewing the location of Thames Water plant only. Any other uses of the map data or further copies are not permitted. The position of the apparatus shown on this plan is given without obligation and warranty, and the accuracy cannot be guaranteed. This information is valid for the date printed. Service pipes are not shown but their presence should be anticipated. No liability of any kind whatsoever is accepted by Thames Water for any error or omission. The actual position of mains and services must be verified on site before any works are undertaken.

Appendix E

Information on Possible Contamination

Information on possible contamination has been forwarded by Epping Forest District Council by way of email of 22nd May 2013, giving information on potential contamination across all the primary sites.

This clarifies possible ground contamination derived from asbestos, made ground, hydrocarbons, petroleum hydrocarbons and the like.

It is likely that any Planning Consent will carry a Condition that all contamination issues are to be remediated.

Accordingly, we recommend that initial site investigation is undertaken for all sites that move forward to Planning Applications.

Appendix F

Cost Build-up

Gross Internal floor area	m2	ft2
Affordable Flat Units	0	0
Allowance for communal space @ 20%	0	0
Affordable House Units	247	2,659
TOTAL GIA	247	2,659

Item	Element	Qty	Unit	Rate £/unit	Total £
1.0 Demolition					
1.1	Demolition	400	m ²	50	19,999
2.2	Site clearance	498	m ²	10	4,977
1.2	Allowance for removal of asbestos	24	No	800	19,200
	Sub-total			say	44,000
2.0 Affordable Flat units (xx nr. units)					
2.1	Flats Private areas	0	m ²	1,350	0
2.2	Flats communal areas (20% allowed)	0	m ²	900	0
	Sub-total			say	0
3.0 Affordable House units (03 nr. units)					
3.1	House areas	247	m ²	1,250	309,000
	Sub-total			say	310,000
4.0 Abnormals / E/o and External Works					
4.1	Private gardens (incl. fencing)	284	m ²	40	11,000
4.2	Communal Gardens	311	m ²	30	9,000
4.3	Access road, parking and turning	152	m ²	65	10,000
4.4	Pedestrian paving	0	m ²	50	Incl.
4.5	Cross over / highways adaptations	2	item	2,000	4,000
4.6	Allowance for contaminated ground	0	item		Excl.
4.7	Boundary treatment (fencing/walls)	113	m	160	18,000
4.8	Allowance for achieving CfSh Level 3	3	nr	4,500	14,000
	Sub-total			say	70,000
			£/m2	£/ft2	
INDICATIVE CONSTRUCTION COST					424,000
CONTINGENCY @ 5%					20,000
CONTRACTORS DESIGN FEES @ 8%					35,520
PRELIMS AND OVERHEADS AT 15%					63,600
TOTAL INDICATIVE CONSTRUCTION COST					543,120

Clarifications and Assumptions

Estimate based on Pellings Feasibility drawings and standard ETG specifications
 GIA is approximate due to early stage of design
 Costs are based on a Q3 2014 start on site
 Costs are based on a Single Stage Competitive D&B procurement route
 Costs are based on a Contractor 'best programme' contract period
 All units assumed to achieve Code for sustainable Homes Level 3
 It is assumed that a traditional construction (concrete strip foundations, brick/block walls, timber floor structure, sloped tiled roofs) will be used
 Contractors design fees are based upon appointment with planning consent under JCT D&B contract
 Assumed no Party Wall or Rights of Lights issues

Exclusions

Clients professional fees (including statutory fees)
 VAT
 Hazardous material removal
 Excludes any off-site works
 Provision of loose fittings and furnishings
 Costs of compliance of any conditions imposed by TFL or other statutory bodies
 Costs of Section 106, S108, S278 Agreement(s) or Community Infrastructure Levy charges

**East Thames Housing / Epping Forest District Council
Housing Delivery Programme**

Feasibility Report

Site: 25-38 (Garages) Hornbeam Close, Buckhurst Hill (Site B)

Rev: A

Ref: IJC/dh/612.023
Date: September 2014

Contents

1. Introduction and Confirmation of Brief
2. Existing Site and Surroundings
3. Proposals
4. Planning Issues and Risks
5. Impact/Implications of Statutory Services
6. Site Access and Buildability Issues
7. Neighbourly Matters and Party Walls
8. Proposed Procurement Route
9. Impact on Parking
10. Legals
11. Costs
12. Recommendations and Conclusions

Appendices

- A: Development Proposals – Drawings 612.023/P2-2A
- B: Site Photographs
- C: Existing Site Plan 201206014-B
- D: Statutory Services Information
- E: Information on Possible Contamination
- F: Cost Build-up

1.0 Introduction and Confirmation of Brief

- 1.1. Pellings LLP are appointed as part of East Thames Group Technical Team in respect of delivery of Development Agent services to Epping Forest District Council for a six year housing delivery programme.
- 1.2. Following initial appraisal by EFDC, 59 sites have been identified as having possible development potential, with a further number of sites in reserve.
- 1.3. Pellings LLP have been instructed to progress feasibility studies to all 59 sites and which will assist in establishing the extent and timing of the overall programme.
- 1.4. Our instructions are in accordance with our fee tender of 13 August 2012, against the previously prepared tender documentation, and email confirmation of 9 April 2013.

2.0 Existing Site and Surroundings

- 2.1. The site is located on the eastern side of Buckhurst Hill in a residential area comprising houses and flats approximately 600m south of Buckhurst Hill station.
- 2.2. The site consists of 14 garages and hardstanding and it is accessed by way of a 4.5m driveway between residential sites (no. 2 Hornbeam Road and Hornbeam House). There is a 'pump house' on the northern side of the site believed to pump drainage. The site adjoins residential plots (no. 2 Hornbeam Road and the neighbouring houses are two storey terraced and Hornbeam House is a five storey block of flats with communal amenity space). To the east is open space.

3.0 Proposals

- 3.1. Read in conjunction with drawing 612.023/P2-2A attached at Appendix A.
- 3.2. The proposals are :

2 x 3 bed houses, 2 storey
Provision of 11 parking spaces and garden/landscaped areas

4.0 Planning Issues and Risks

Relevant Planning Policies/Considerations

- 4.1. The adopted Development Plan for Epping Forest District Council is the Combined Local Plan 1998 and Local Plan Alterations 2006.
- 4.2. The site is not located in a Conservation Area it is not designated for any particular purposes in the Epping Forest District Council Combined Local Plan 1998 and Local Plan Alterations 2006. The site does not lie in Flood Zone on the Environment Agency Flood Map.
- 4.3. There are no specific policies which prevent the loss of existing garages although policy ST4 (Road Safety) states that planning permission will only be granted where there will be no adverse effects on the highway, traffic congestion or harm to the character or appearance of the area. Parking spaces to meet with the Council's standards are proposed for the new dwellings.

- 4.4. It will be necessary to undertake a Parking Survey and to prepare a Transport Statement to demonstrate that the loss of the garages and proposed development would not cause any parking shortfalls or harm to highway conditions or the amenities of the area.
- 4.5. The site is located in the settlement of Buckhurst Hill and the proposal would be consistent with policy CP7 which encourages the efficient use of existing built-up areas by the 'recycling of vacant, derelict, degraded and under-used land to accommodate the development' and the 're-use of urban sites, which are no longer appropriate to their existing or proposed use in the foreseeable future, for alternative land uses'.
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- 4.7. The development of small family homes with rear gardens and private and communal parking would be in keeping with the character and appearance of the area and may comply with Epping Forest's design policies and guidance.

5.0 **Impact/Implications of Statutory Services**

- 5.1. We have undertaken statutory services enquiries to the following:
- Southern Gas
 - Cable and Wireless
 - Virgin Media
 - Thames Water
 - BT
 - National Grid
 - Scottish and Southern Energy
 - Environment Agency
 - UK Power Networks
- 5.2. Responses received to date are from the Environment Agency, National Grid, UK Power Networks, Virgin Media and Thames Water.
- 5.3. The Environment Agency do not note any significant constraints but recommend measures to achieve water efficiency and the use of Sustainable Urban Drainage systems.
- 5.3.1. National Grid: No apparatus appears to cross the site
- 5.3.2. UK Power Networks: No apparatus appears to cross the site
- 5.3.3. Virgin Media: No apparatus appears to cross the site
- 5.4. Thames Water: Plans indicate that a pressure main and sewer connected to the pump house cross the northern side of the site
- 5.5. It should be noted there are a number of responses to enquiries that, at time of preparation of this report, have not yet been received.

6.0 Site Access and Buildability Issues

- 6.1. The site is accessed from existing site roads and there would not appear to be any particular difficulties for the normal level and size of construction traffic associated with a development of this nature.
- 6.2. Areas should be available for contractor's site set up and accommodation.
- 6.3. The site is within a primarily residential area and, accordingly, any appointed contractor should use all best endeavours to act in a considerate manner and within normal working hours.
- 6.4. Further to initial enquiries made to EFDC, some potential contamination issues have been highlighted with use of the domestic garages, and also a former horticultural nursery. Possible contaminants in respect of the former use as a nursery are summarised and indicated within the note produced by EFDC Planning and Economic Development Directorate at Appendix E.
- 6.5. Possible contaminants in respect of the previous use of the garage site may include asbestos, ash and clinker, hydro-carbons from vehicle maintenance and the like.
- 6.6. Accordingly, suitable site investigation will need to be undertaken ahead of any proposals to take this site forward and specific recommendations made to deal with any contamination found, whether by capping or removal from site.
- 6.7. The site is accessed by way of a narrow driveway and as at present, our proposals do not include a turning head for refuse or emergency vehicles. Accordingly, subject to detailed design, an independent refuse storage area may be required along with sprinkler provision to the new houses for fire protection.
- 6.8. As indicated above, the site includes a Thames Water pumping station, indicating that the drainage in the area is pumped and not gravity. New proposed accommodation is therefore likely to require similar pumped drainage.

7.0 Neighbourly Matters and Party Walls

- 7.1. As above, the proposed development site is within a primarily residential area and the appointed contractor should act in a considerate manner. It is proposed that restrictions on working hours, noise levels, requirement for resident liaison and similar matters will be included within contract documentation.
- 7.2. From proposals on Drawing 612.023/P2-2A it is not considered that Party Wall matters will be relevant.

8.0 Proposed Procurement Route

- 8.1. It is understood that development works will be procured by way of the East Thames Housing Group existing contractor framework arrangements.
- 8.2. It is proposed that works shall be procured on a Design and Build basis with the contractors taking forward RIBA Stage D planning consent drawings into detailed design and construction delivery on site.

- 8.3. Schemes shall be designed to a set of Employer's Requirements to be subsequently confirmed but which substantially shall be formed from existing East Thames Housing Group Design Standards and Employer's Requirement documentation.
- 8.4. It is proposed that all site preparation works will be included within individual contract packages including any required demolitions, adjustment of statutory services, highways works and boundary maintenance/reinstatement/provision.
- 8.5. On completion of the feasibility studies for the whole programme, further recommendations will be made in terms of how works are packaged to ensure size of work packages are optimised for ensuring maximum economies for East Thames Housing Group and EFDC.
- 8.6. It is considered, at this stage, that this may be by way of a mix of different sized contractors dependent upon the numbers and geographical location of individual works packages.
- 8.7. Works will be administered by Pellings LLP as Employer's Agent acting in accordance with East Thames Housing Group terms of appointment and the overarching requirements of the Development Agency agreement.

9.0 **Impact on Parking**

- 9.1. The Council's currently adopted parking standards are contained within Essex County Council's Parking Standards Design and Good Practice Guide – September 2009. These revised standards were adopted by the Council as statutory planning guidance in February 2012.
- 9.2. Flats and houses have the same parking standard as follows:
- 1 bedroom accommodation – 1 space per dwelling
 - 2 bedroom accommodation and above – 2 spaces per dwelling
 - Visitor parking – 0.25 spaces per dwelling (rounded up to the nearest whole number)

9.3. The proposals would appear to more than meet the Council's parking standards for new development.

9.4. However, should the site move forward to planning application stages, it is recommended that a Transport Statement be undertaken, including parking surveys, to demonstrate that the loss of the garages will not give rise to any planning or highway problems.

10.0 **Legals**

- 10.1. We have been provided with a Summary Report of legal matters from EFDC Solicitors. The report makes reference to the suggested appropriation of land for planning purposes which would extinguish any prior rights of way.
- 10.2. The report makes reference to possible rights of light risk. A blanket policy against such risk might be considered.

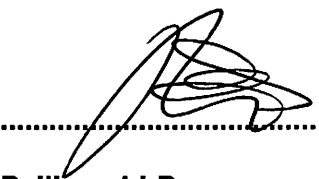
10.3. The report has identified a pedestrian access into the allotment area to the rear of the site. The access is largely unaffected by proposals, but it may be prudent to move the access point to improve its location. This can be dealt with at time of detailed planning application.

11.0 **Costs**

11.1. It is considered that a budget of £575,100.00 should be allowed for this scheme, inclusive of contractor design fees, but exclusive of professional fees and VAT. Please refer to Appendix F.

12.0 **Recommendations and Conclusions**

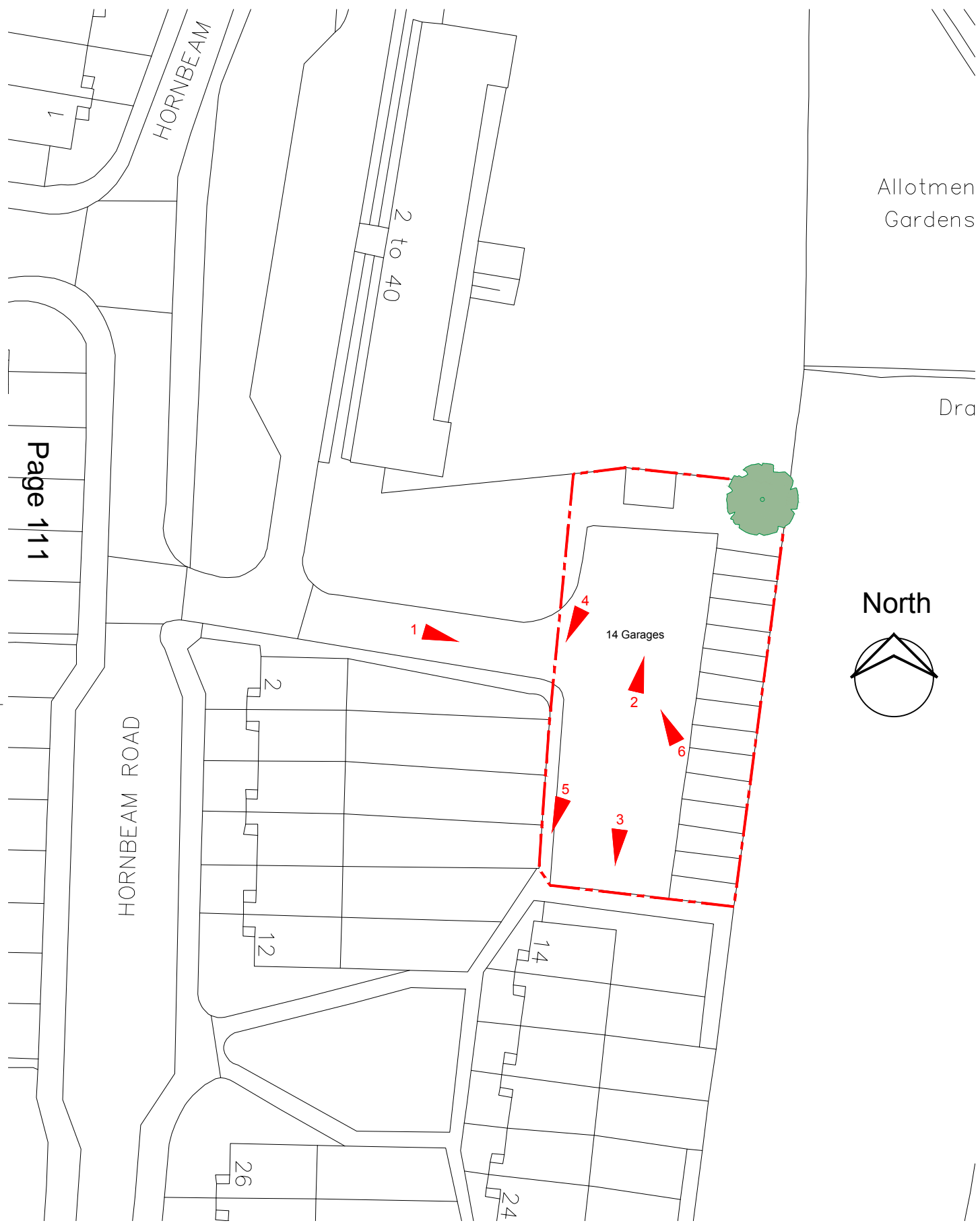
12.1. Subject to an overall lifetime cost appraisal, we conclude that the site appears to have economic development opportunities and we recommend is considered for taking forward to planning application stage, with a view to incorporating into the overall programme.

Signed:  Date: 1st October 2014 -
Pellings LLP

Appendix A

Development Proposals

Drawings 612.023/P2-2A



TOTALS
 Site Area 0.085 Ha
 3 x 3 Bed Houses @ 93 sqm
 11 Parking Spaces

NOTES:
 Report all discrepancies, errors and omissions
 Do not scale from this drawing.
 Verify all dimensions on site before commencing any work or preparing shop drawings.
 All materials, components and workmanship are to comply with all the relevant British Standards, Codes of Practice, and appropriate manufacturers recommendations that from time to time shall apply.
 For all specialist work, see relevant drawings.
 This drawing and design are copyright of PELLINGS LLP

PRELIMINARY

Rev	Date	Description	Name
-	--/--		



Pellings LLP 24 Widmore Road Bromley Kent BR1 1RY t 020 8460 9114 f 020 8313 0019 e bromley@pellings.co.uk www.pellings.co.uk		Architecture & Planning ■ Building Surveying ■ Project Management ■ Cost Consultancy ■ CDM Co-ordination			
CLIENT	East Thames HA	PROJECT	EFDC House Building Programme		
TITLE	Existing and Proposed Plans Hornbeam Road	DATE	NOV 2013	SCALE	1:500 @A3
		DRAWN	NP	CHK	
DRAWING No		612 023 P2-2		A	

Appendix B

Site Photographs

Appendix B - Site Photographs

1.



2.



3.



4.



5.

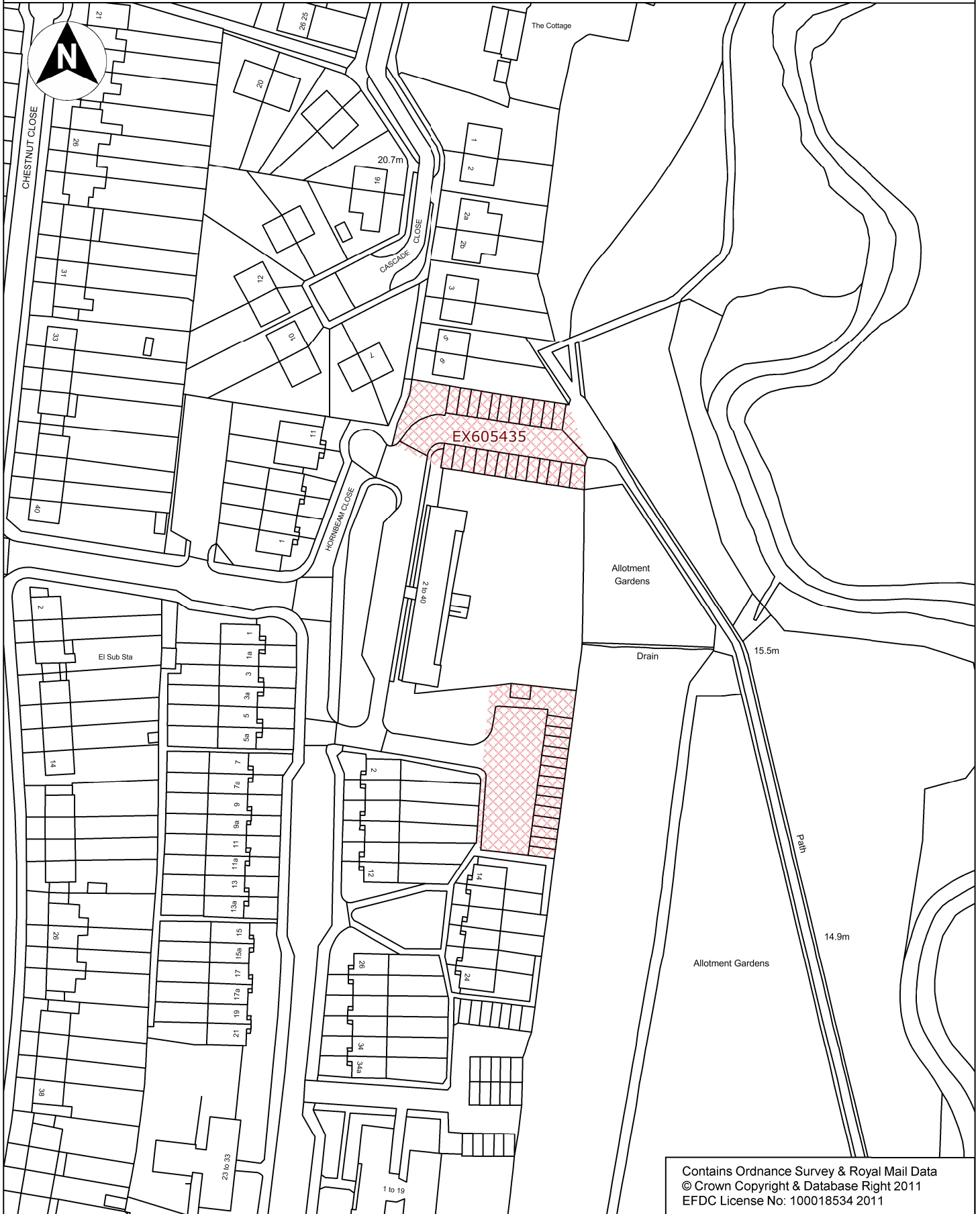


6.



Appendix C

Existing Site Plan



Contains Ordnance Survey & Royal Mail Data
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EFDC License No: 100018534 2011

Directorate of Environment & Street Scene
Civic Offices
High Street
Epping, Essex,
CM16 4BZ
Tel. 01992 564000

Project
Potential Site for Council House
Building Program

Drawing No. **Page 117**
201206014 - B

Content
Hornbeam Close
Buckhurst Hill

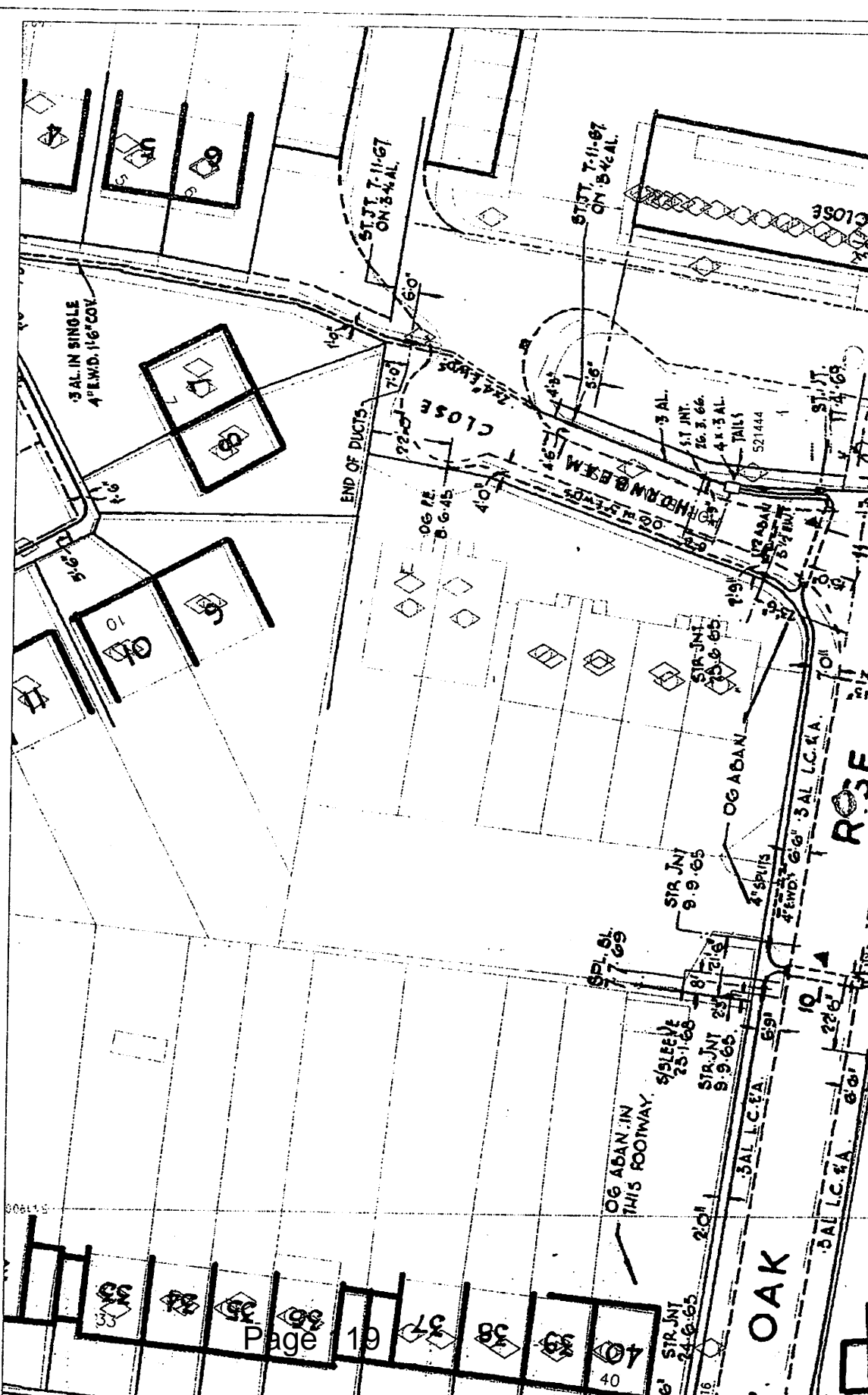
Date
04/07/12

Scale
1:1250 @ A4

Drawn By
Robert Irwin

Appendix D

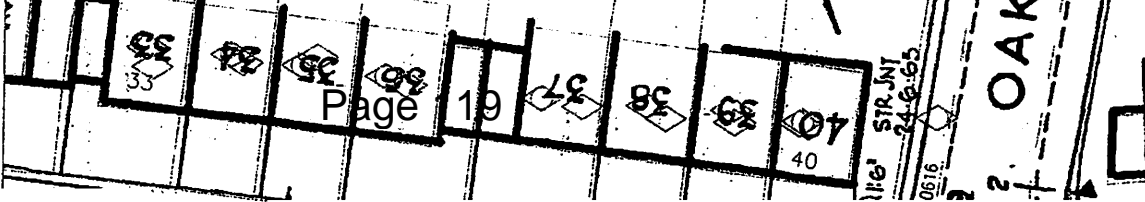
Statutory Services Information

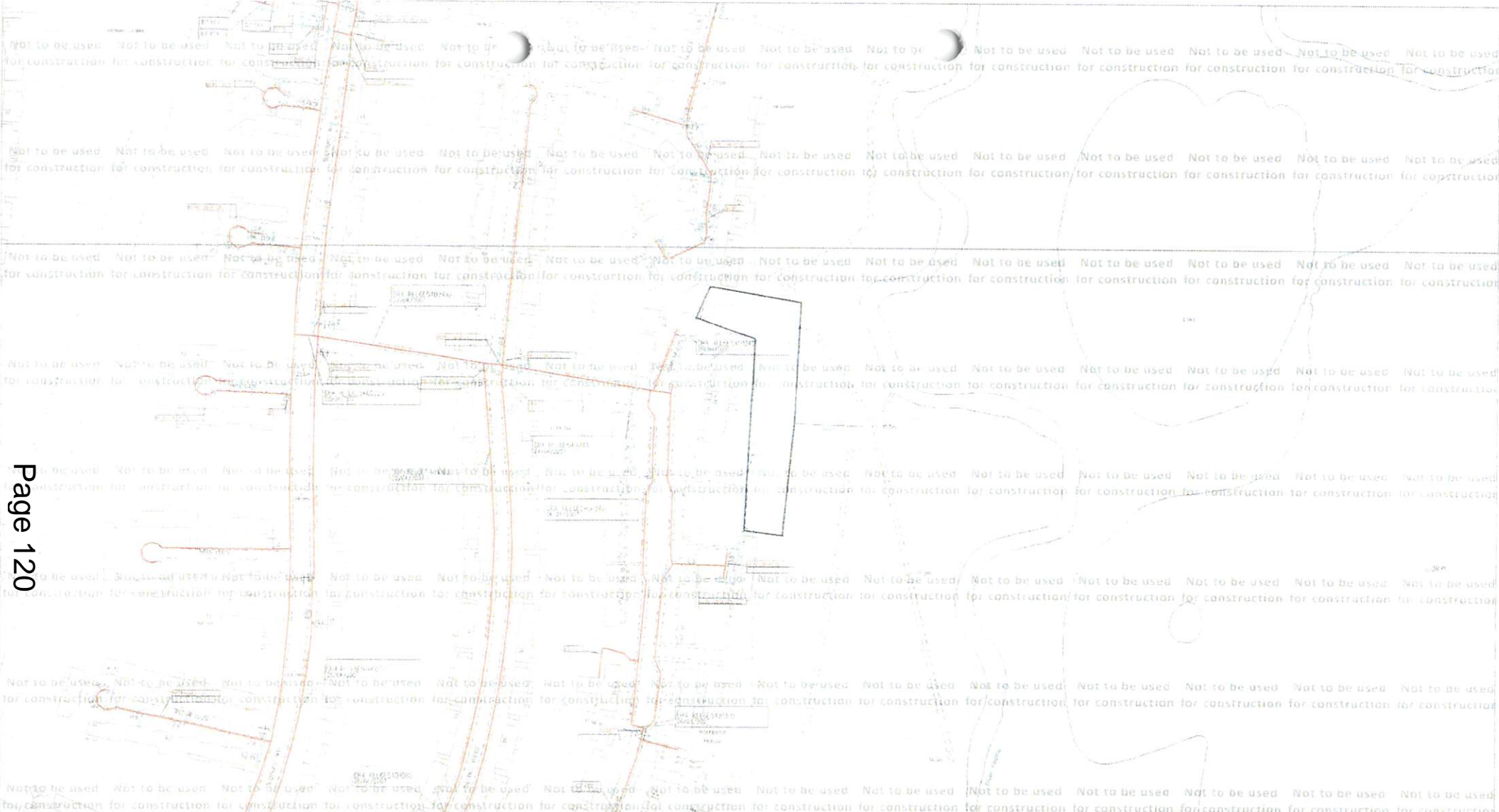


506115

2 OAK

ROSE





ID: NL_TE_Z6_3SW_042143		View extent: 723m, 393m	
USER: roy.x.jones	LP MAINS		<p>Map not to be used for construction</p> <p>This plan shows those pipes owned by National Grid Gas plc in its role as a Licensed Gas Transporter (GT). Gas pipes owned by other GTs, or otherwise privately owned, may be present in this area. Information with regard to such pipes should be obtained from the relevant owners. The information shown on this plan is given without warranty, the accuracy thereof cannot be guaranteed. Service pipes, valves, syphons, stub connections, etc., are not shown but their presence should be anticipated. No liability of any kind whatsoever is accepted by National Grid Gas plc or their agents, servants or contractors for any error or omission. Safe digging practices, in accordance with HS(G)47, must be used to verify and establish the actual position of mains, pipes, services and other apparatus on site before any mechanical plant is used. It is your responsibility to ensure that this information is provided to all persons (either direct labour or contractors) working for you on or near gas apparatus. The information included on this plan should not be referred to beyond a period of 28 days from the date of issue.</p>
DATE: 24/10/2013	MP MAINS		
DATA DATE: 15/10/2013	IP MAINS		
REF: HORNBEAM CLOSE	LHP MAINS		
MAP REF: TQ4193	NHP MAINS		
CENTRE: 541998, 193421	<p>0m 50m</p> <p>Approximate scale 1:2500 on A4 Colour Landscape</p>		
<p>Valve </p> <p>Depth of Cover </p> <p>Syphon </p> <p>Diameter Change </p> <p>Material Change </p>			

Map not to be used for construction

This plan shows those pipes owned by National Grid Gas plc in its role as a Licensed Gas Transporter (GT). Gas pipes owned by other GTs, or otherwise privately owned, may be present in this area. Information with regard to such pipes should be obtained from the relevant owners. The information shown on this plan is given without warranty, the accuracy thereof cannot be guaranteed. Service pipes, valves, syphons, stub connections, etc., are not shown but their presence should be anticipated. No liability of any kind whatsoever is accepted by National Grid Gas plc or their agents, servants or contractors for any error or omission. Safe digging practices, in accordance with HS(G)47, must be used to verify and establish the actual position of mains, pipes, services and other apparatus on site before any mechanical plant is used. It is your responsibility to ensure that this information is provided to all persons (either direct labour or contractors) working for you on or near gas apparatus. The information included on this plan should not be referred to beyond a period of 28 days from the date of issue.

Map 1 of 1 (GAS)

MAPS Plot Server Version 1.7.6

Requested by: Pellings

This plan is reproduced from or based on the OS map by National Grid Gas plc, with the sanction of the controller of HM Stationery Office.
Crown Copyright Reserved. Ordnance Survey Licence number 100024886

Adam Greenhalgh

From: SPHatfield <SPHatfield@environment-agency.gov.uk>
Sent: 23 October 2013 17:49
To: Adam Greenhalgh
Subject: RE: Epping Forest DC - potential development sites

Dear Adam,

Further to your letters dated 16 October (your ref: AG/dh/612.023/05), we have the following comments to make on the specific sites listed below (please note that comments on three sites – Rear of shops, Loughton Way, Buckhurst Hill; Pentlow Way, Buckhurst Hill and Site B, Marlescroft Way, Loughton – will follow on or before 7 November due to additional site constraints).

Sites: Burton Road, Debden
White Hills, Loughton
Thatchers Close, Loughton
Site A, Pyries (**note:** should be 'Pyrles') Lane, Loughton
Site B, Pyries (**note:** should be 'Pyrles') Lane, Loughton
Site A, Chequers Road, Loughton
Site B, Chequers Road, Loughton
Site A, Langley Meadow, Loughton
Site B, Langley Meadow, Loughton
Hornbeam Close, Buckhurst Hill
Hornbeam House, Hornbeam Road, Buckhurst Hill
Bourne House, Hornbeam Road, Buckhurst Hill
Bushfields, Loughton
Etheridge Road, Loughton
Lower Alderton Hall Lane, Loughton
Ladyfields, Loughton
Kirby Close, Loughton
Chester Road, Loughton
Hillyfields, Loughton

Comments

As we are in an area of serious water stress, we endorse the efficient use of water resources. Residential developments such as your proposal should take advantage of water efficient technologies. This is in line with Epping Forest's local policy CP5 which states that the efficient use of water is encouraged through water efficient appliances and rainwater harvesting for example.

Every opportunity should be taken to maximise Sustainable Drainage Systems (SuDS) such as green roofs, ponds, swales and permeable pavements, to alleviate surface water runoff. I have attached a copy of our SuDS guidance, which contains the SuDS hierarchy, to help you with your designs. The methods at the top of the hierarchy are preferred because they are beneficial in terms of sustainability and biodiversity. The hierarchy should be used in descending order. Tanks should only be used as a last resort. Epping Forest's local policy U3B on sustainable drainage systems advocates this approach.

As the sites are all under a hectare in Flood Zone 1, they fall within cell F5 of our Flood Risk Standing Advice consultation matrix. Epping Forest Local Planning Authority will therefore be responsible for assessing flood risk at these sites.


Kind regards,

Clark Gordon
Sustainable Places Planning Advisor
Environment Agency
North East Thames Area - Hatfield Team
01707 632308



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www.environment-agency.gov.uk/climate-ready

 please consider the environment - do you really need to print this email?

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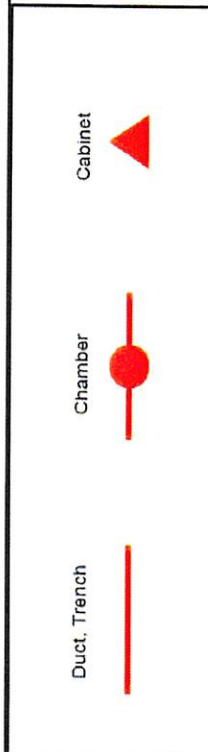
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(c) Crown Copyright and database rights 2011 Ordnance Survey 100019209 Date: 24/10/13 Scale: 1:1083 Map Centre: 541988,193484.6 Data updated: 25/08/13 Telecoms Plan A4

Important information - please read
 The purpose of this plan is to identify Virgin Media apparatus. We have tried to make it as accurate as possible but we cannot guarantee that the positions of all apparatus are correct. The plan is based on data from Ordnance Survey and other sources. Power cables have been placed inside green, rather than black, ducting. Further details can be found using the 'Allcables' Postcodes.pdf, which can be downloaded from the website.
 Therefore, you must not rely solely on this plan if you are carrying out any excavation or other works in the vicinity of Virgin Media apparatus. The actual position of any underground service must be verified by cable detection equipment, etc. and established on site before any mechanical plant is used. Accordingly, unless it is due to the negligence of Virgin Media, its employees or agents, Virgin Media shall not be liable for any damage or loss of service to any premises or infrastructure in the plan or for any loss or damage caused or arising from the use of any or any reliance on this plan.
 This plan is produced by Virgin Media Limited from Ordnance Survey © Crown Copyright 100019209



agreenhalgh@pellings.co.uk





(c) Crown Copyright and database rights 2012 Ordnance Survey 100019345 Date: 23/10/13 Scale: 1:1083 Map Centre: 541988,193484.6 Data updated: 16/08/13 Clean Water Plan A4

Based on the Ordnance Survey Map with the sanction of the Controller of H.M. Stationary Office License Number:- 100019345. This map is to be used for the purposes of viewing the location of Thames Water plant only. Any other uses of the map data or further copies are not permitted. The position of the apparatus shown on this plan is given without obligation and warranty, and the accuracy cannot be guaranteed. This information is valid for the date printed. Service pipes are not shown but their presence should be anticipated. No liability of any kind whatsoever is accepted by Thames Water for any error or omission. The actual position of mains and services must be verified on site before any works are undertaken.

Water Main		Meter	
Private Water		Valve	
Proposed Water		Hydrant	
Abandoned Asset		End Item	

agreenhalgh@pellings.co.uk





Data updated: 16/08/13

Map Centre: 541988, 193484.6

Scale: 1:1083

Date: 23/10/13

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agreenhalgh@peellings.co.uk

	Foul Manhole
	Surface Manhole
	Combined Manhole
	Abandoned Manhole
	Other Manhole
	End Item
	S104 Boundary
	Foul Sewer
	Surface Sewer
	Combined Sewer
	Abandoned Sewer
	Pressure Main
	Private Asset (Colour denotes effluent type)
	Proposed Asset (Colour denotes effluent type)

Based on the Ordnance Survey Map with the sanction of the Controller of H.M. Stationary Office License Number: 100019345. This map is to be used for the purposes of viewing the location of Thames Water plant only. Any other uses of the map data or further copies are not permitted. The position of the apparatus shown on this plan is given without obligation and warranty, and the accuracy cannot be guaranteed. This information is valid for the date printed. Service pipes are not shown but their presence should be anticipated. No liability of any kind whatsoever is accepted by Thames Water for any error or omission. The actual position of mains and services must be verified on site before any works are undertaken.

Appendix E

Information on Possible Contamination

Information on possible contamination has been forwarded by Epping Forest District Council by way of email of 22nd May 2013, giving information on potential contamination across all the primary sites.

This clarifies possible ground contamination derived from asbestos, made ground, hydrocarbons, petroleum hydrocarbons and the like.

It is likely that any Planning Consent will carry a Condition that all contamination issues are to be remediated.

Accordingly, we recommend that initial site investigation is undertaken for all sites that move forward to Planning Applications.

Appendix F

Cost Build-up

	m2	ft2
Gross Internal floor area		
Affordable Flat Units	0	0
Allowance for communal space @ 20%	0	0
Affordable House Units	279	3,003
TOTAL GIA	279	3,003

Item	Element	Qty Unit	Rate £/unit	Total £
1.0 Demolition				
1.1	Demolition	223 m ²	50	11,132
2.2	Site clearance	623 m ²	10	6,227
1.2	Allowance for removal of asbestos	14 No	800	11,200
	Sub-total		say	30,000
2.0 Affordable Flat units (xx nr. units)				
2.1	Flats Private areas	0 m ²	1,350	0
2.2	Flats communal areas (20% allowed)	0 m ²	900	0
	Sub-total		say	0
3.0 Affordable House units (03 nr. units)				
3.1	House areas	279 m ²	1,250	349,000
	Sub-total		say	350,000
4.0 Abnormals / E/o and External Works				
4.1	Private gardens (incl. fencing)	188 m ²	40	8,000
4.2	Communal Gardens	281 m ²	30	8,000
4.3	Access road, parking and turning	266 m ²	65	17,000
4.4	Pedestrian paving	0 m ²	50	Incl.
4.5	Cross over / highways adaptations	2 item	2,000	4,000
4.6	Allowance for contaminated ground	0 item		Excl.
4.7	Boundary treatment (fencing/walls)	117 m	160	19,000
4.8	Allowance for achieving CfSh Level 3	3 nr	4,500	14,000
	Sub-total		say	70,000
		£/m2	£/ft2	
INDICATIVE CONSTRUCTION COST				450,000
CONTINGENCY @ 5%				20,000
CONTRACTORS DESIGN FEES @ 8%				37,600
PRELIMS AND OVERHEADS AT 15%				67,500
TOTAL INDICATIVE CONSTRUCTION COST				575,100
				2,061

Clarifications and Assumptions

Estimate based on Pellings Feasibility drawings and standard ETG specifications
 GIA is approximate due to early stage of design
 Costs are based on a Q3 2014 start on site
 Costs are based on a Single Stage Competitive D&B procurement route
 Costs are based on a Contractor 'best programme' contract period
 All units assumed to achieve Code for sustainable Homes Level 3
 It is assumed that a traditional construction (concrete strip foundations, brick/block walls, timber floor structure, sloped tiled roofs) will be used
 Contractors design fees are based upon appointment with planning consent under JCT D&B contract
 Assumed no Party Wall or Rights of Lights issues

Exclusions

Clients professional fees (including statutory fees)
 VAT
 Hazardous material removal
 Excludes any off-site works
 Provision of loose fittings and furnishings
 Costs of compliance of any conditions imposed by TFL or other statutory bodies
 Costs of Section 106, S108, S278 Agreement(s) or Community Infrastructure Levy charges

**East Thames Housing / Epping Forest District Council
Housing Delivery Programme**

Feasibility Report

Site: 1-22 (Garages) Hornbeam House, Buckhurst Hill, IG9 6JT

Rev: A

Ref: IJC/srs/612.023
Date: September 2014

Contents

1. Introduction and Confirmation of Brief
2. Existing Site and Surroundings
3. Proposals
4. Planning Issues and Risks
5. Impact/Implications of Statutory Services
6. Site Access and Buildability Issues
7. Neighbourly Matters and Party Walls
8. Proposed Procurement Route
9. Impact on Parking
10. Legals
11. Costs
12. Recommendations and Conclusions

Appendices

- A: Development Proposals – Drawings 612.023/P2-3A
- B: Site Photographs
- C: Existing Site Plan 201206014-C
- D: Statutory Services Information
- E: Information on Possible Contamination
- F: Cost Build-up

1.0 Introduction and Confirmation of Brief

- 1.1. Pellings LLP are appointed as part of East Thames Group Technical Team in respect of delivery of Development Agent services to Epping Forest District Council for a six year housing delivery programme.
- 1.2. Following initial appraisal by EFDC, 59 sites have been identified as having possible development potential, with a further number of sites in reserve.
- 1.3. Pellings LLP have been instructed to progress feasibility studies to all 59 sites and which will assist in establishing the extent and timing of the overall programme.
- 1.4. Our instructions are in accordance with our fee tender of 13 August 2012, against the previously prepared tender documentation, and email confirmation of 9 April 2013.

2.0 Existing Site and Surroundings

- 2.1. The site is located on the eastern side of Buckhurst Hill in a residential area comprising houses and flats approximately 700m south of Buckhurst Hill station.
- 2.2. The site consists of 22 garages and hardstanding and it is accessed by way of a 4.5m driveway between residential sites (No. 34 Hornbeam Road and Hornbeam House). The site adjoins residential plots (No. 24 Hornbeam Road and the neighbouring houses are two storey terraced and Hornbeam House is a four/five storey block of flats with communal amenity space). To the east is open space.

There is some vehicular access to the rear of properties 26 – 34a Hornbeam Road.

3.0 Proposals

- 3.1. Read in conjunction with drawings 612.023.P2-3A attached at Appendix A.
- 3.2. The proposals are :

2 x 3 bed house, 2 storey
Provision of 6 parking spaces and garden/landscaped areas

4.0 Planning Issues and Risks

Relevant Planning Policies/Considerations

- 4.1. The adopted Development Plan for Epping Forest District Council is the Combined Local Plan 1998 and Local Plan Alterations 2006.
- 4.2. The site is not located in a Conservation Area it is not designated for any particular purposes in the Epping Forest District Council Combined Local Plan 1998 and Local Plan Alterations 2006. The site does not lie in Flood Zone on the Environment Agency Flood Map.
- 4.3. There are no specific policies which prevent the loss of existing garages although policy ST4 (Road Safety) states that planning permission will only be granted where there will be no adverse effects on the highway, traffic congestion or harm to the character or appearance of the area. Parking spaces to meet with the Council's standards are proposed for the new dwellings.

- 4.4. It will be necessary to undertake a Parking Survey and to prepare a Transport Statement to demonstrate that the loss of the garages and proposed development would not cause any parking shortfalls or harm to highway conditions or the amenities of the area.
- 4.5. The site is located in the settlement of Buckhurst Hill and the proposal would be consistent with policy CP7 which encourages the efficient use of existing built-up areas by the 'recycling of vacant, derelict, degraded and under-used land to accommodate the development' and the 're-use of urban sites, which are no longer appropriate to their existing or proposed use in the foreseeable future, for alternative land uses'.
- 4.6. The proposal would comply with policy H4A which states the need for a range of dwellings, including an appropriate proportion of smaller dwellings, to meet identified housing need on a site-by-site basis.
- 4.7. The development of small family homes with rear gardens and private and communal parking would be in keeping with the character and appearance of the area and may comply with Epping Forest's design policies and guidance.

5.0 **Impact/Implications of Statutory Services**

5.1. We have undertaken statutory services enquiries to the following:

- Southern Gas
- Cable and Wireless
- Virgin Media
- Thames Water
- BT
- National Grid
- Scottish and Southern Energy
- Environment Agency
- UK Power Networks

5.2. Responses received to date are from the Environment Agency, National Grid, UK Power Networks, Virgin Media and Thames Water.

5.3. The Environment Agency do not note any significant constraints but recommend measures to achieve water efficiency and the use of Sustainable Urban Drainage systems.

5.3.1. National Grid: No apparatus appears to cross the site

5.3.2. UK Power Networks: There is a possible main crossing the site (as indicated on the drawings) which requires further clarity prior to design proposals being finalised.

5.3.3. Virgin Media: No apparatus appears to cross the site

5.4. Thames Water: No apparatus appears to cross the site.

5.5. It should be noted there are a number of responses to enquiries that, at time of preparation of this report, have not yet been received.

6.0 **Site Access and Buildability Issues**

- 6.1. The site is accessed from existing site roads and there would not appear to be any particular difficulties for the normal level and size of construction traffic associated with a development of this nature.
- 6.2. Areas should be available for contractor's site set up and accommodation.
- 6.3. The site is within a primarily residential area and, accordingly, any appointed contractor should use all best endeavours to act in a considerate manner and within normal working hours.
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- 6.5. Possible contaminants in respect of the previous use of the garage site may include asbestos, ash and clinker, hydro-carbons from vehicle maintenance and the like.
- 6.6. Accordingly, suitable site investigation will need to be undertaken ahead of any proposals to take this site forward and specific recommendations made to deal with any contamination found, whether by capping or removal from site.
- 6.7. The site is accessed by way of a narrow driveway and as at present, our proposals do not include a turning head for refuse or emergency vehicles. Accordingly, subject to detailed design, an independent refuse storage area may be required along with sprinkler provision to the new houses for fire protection.

7.0 **Neighbourly Matters and Party Walls**

- 7.1. As above, the proposed development site is within a primarily residential area and the appointed contractor should act in a considerate manner. It is proposed that restrictions on working hours, noise levels, requirement for resident liaison and similar matters will be included within contract documentation.
- 7.2. It should be noted that proposals may remove the vehicular access afforded to some properties to the rear of Hornbeam Road and the legal right of such access should be checked.
- 7.3. From proposals on Drawing 612.023/P2-3A it is not considered that Party Wall matters will be relevant.

8.0 **Proposed Procurement Route**

- 8.1. It is understood that development works will be procured by way of the East Thames Housing Group existing contractor framework arrangements.
- 8.2. It is proposed that works shall be procured on a Design and Build basis with the contractors taking forward RIBA Stage D planning consent drawings into detailed design and construction delivery on site.

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9.0 **Impact on Parking**

- 9.1. The Council's currently adopted parking standards are contained within Essex County Council's Parking Standards Design and Good Practice Guide – September 2009. These revised standards were adopted by the Council as statutory planning guidance in February 2012.
- 9.2. Flats and houses have the same parking standard as follows:
- 1 bedroom accommodation – 1 space per dwelling
 - 2 bedroom accommodation and above – 2 spaces per dwelling
 - Visitor parking – 0.25 spaces per dwelling (rounded up to the nearest whole number)

9.3. The proposals would appear to more than meet the Council's parking standards for new development.

9.4. However, should the site move forward to planning application stages, it is recommended that a Transport Statement be undertaken, including parking surveys, to demonstrate that the loss of the garages will not give rise to any planning or highway problems.

10.0 **Legals**

10.1. We have been provided with a Summary Report of legal matters from EFDC Solicitors. The report makes reference to the suggested appropriation of land for planning purposes which would extinguish any prior rights of way.

10.2. The report makes reference to possible rights of light risk. A blanket policy against such risk might be considered.

10.3. There are vehicular accesses to the rear particularly of Nos. 32 and 34 Hornbeam Road. There is some contradiction within the Legals Report advising how these should be dealt with. Item 5.6 appears to indicate that a Deed of Variation would

be required although earlier advice advises that the rights of way would be extinguished on appropriation of the land. This therefore requires clarification.

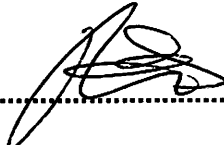
11.0 Costs

11.1. It is considered that a budget of £427,500.00 should be allowed for this scheme, inclusive of contractor design fees, but exclusive of professional fees and VAT. Please refer to Appendix F.

12.0 Recommendations and Conclusions

12.1. Subject to an overall lifetime cost appraisal, we conclude that the site appears to have economic development opportunities and we recommend is considered for taking forward to planning application stage, with a view to incorporating into the overall programme.

Signed:

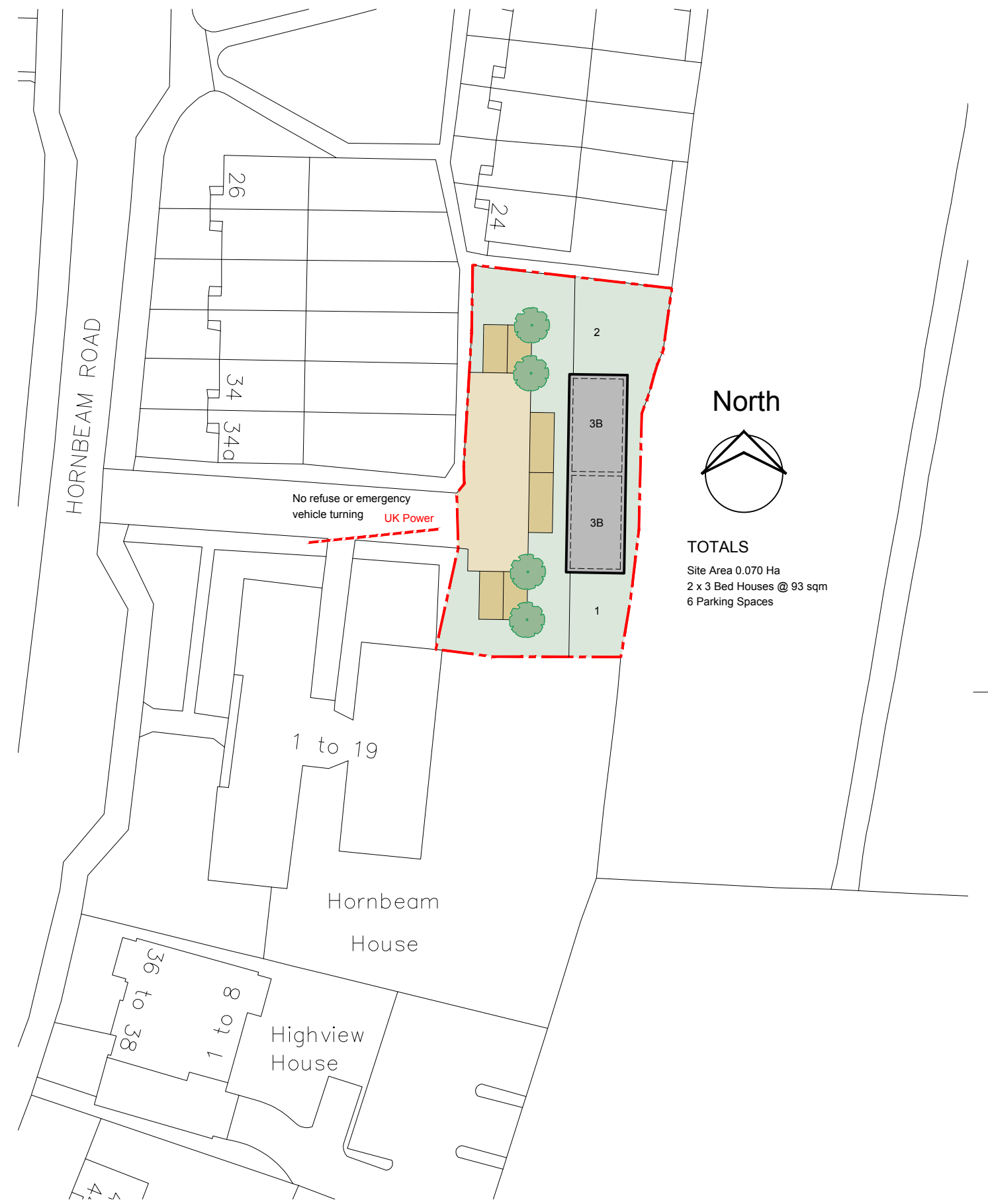
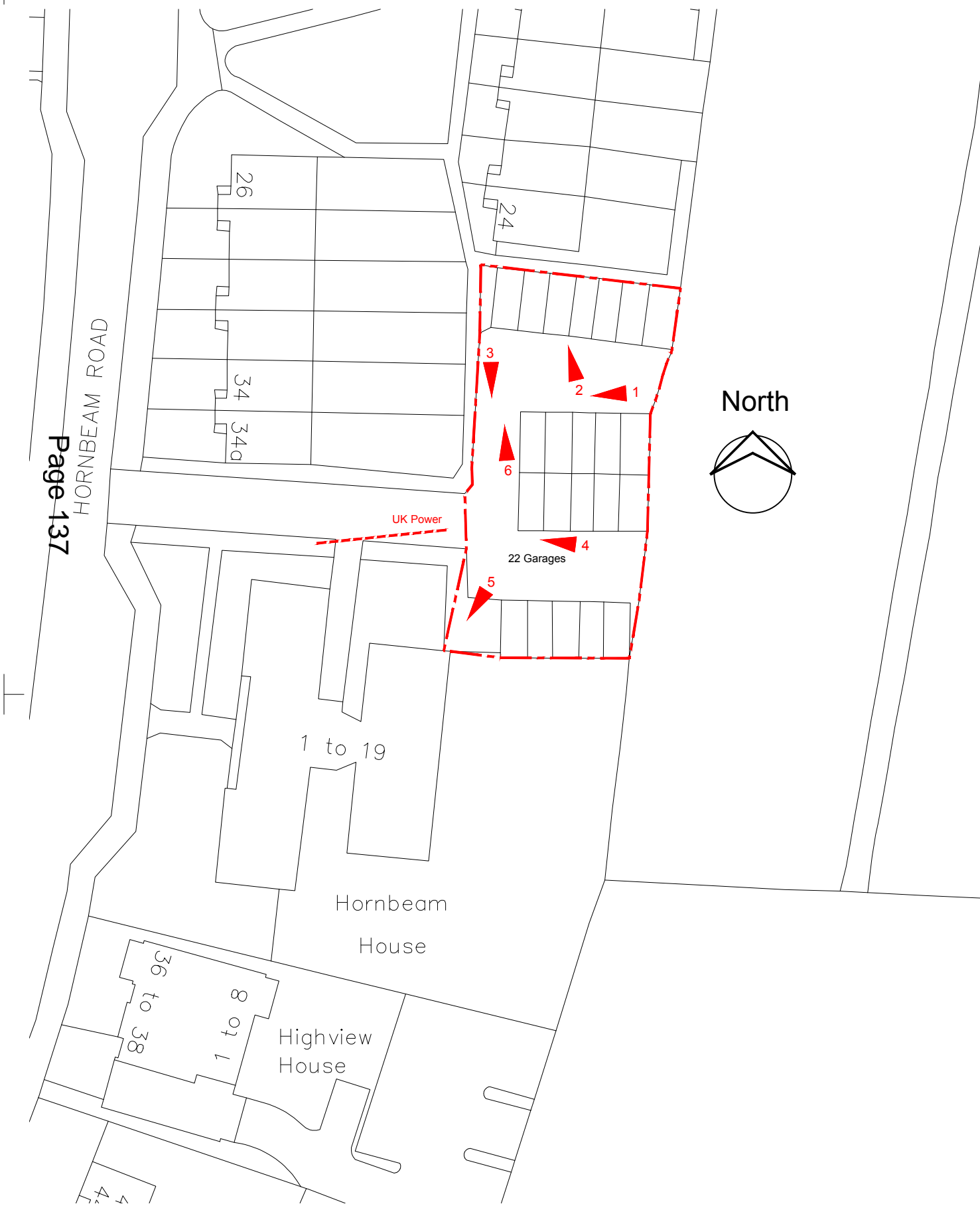

.....
Pellings LLP

Date: 1st October 2014
.....

Appendix A

Development Proposals

Drawings 612.023.P2-3A



TOTALS
 Site Area 0.070 Ha
 2 x 3 Bed Houses @ 93 sqm
 6 Parking Spaces

NOTES:
 Report all discrepancies, errors and omissions
 Do not scale from this drawing.
 Verify all dimensions on site before commencing any work or preparing shop drawings.
 All materials, components and workmanship are to comply with all the relevant British Standards, Codes of Practice, and appropriate manufacturers recommendations that from time to time shall apply.
 For all specialist work, see relevant drawings.

PRELIMINARY

Rev	Date	Description	Name
-	-/-/-		



Pellings LLP 24 Widmore Road Bromley Kent BR1 1RY t 020 8460 9114 f 020 8313 0019 e bromley@pellings.co.uk www.pellings.co.uk		Architecture & Planning ■ Building Surveying ■ Project Management ■ Cost Consultancy ■ CDM Co-ordination	
CLIENT	East Thames HA	PROJECT	EFDC House Building Programme
TITLE	Existing and Proposed Plans Hornbeam House	DATE	NOV 2013
		SCALE	1:500 @A3
		DRAWN	NP
		CHK	
DRAWING No		612 023 P2-3 A	

Appendix B

Site Photographs

Appendix B - Site Photographs

1.



2.



3.



4.



5.



6.



Appendix C

Existing Site Plan



Contains Ordnance Survey & Royal Mail Data
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EFDC License No: 100018534 2011

Directorate of Environment & Street Scene
Civic Offices
High Street
Epping, Essex,
CM16 4BZ
Tel. 01992 564000

Project
Potential Site for Council House
Building Program
Drawing No.
201206014 - C

Content
Hornbeam House
Buckhurst Hill

Date
04/07/12
Scale
1:1250 @ A4
Drawn By
Robert Irwin

Appendix D

Statutory Services Information

Adam Greenhalgh
Pellings
24 Widmore Road
Bromley
Kent
BR1 1RY

Plant Protection
National Grid
Block 1; Floor 1
Brick Kiln Street
Hinckley
LE10 0NA
E-mail: plantprotection@nationalgrid.com
Telephone: +44 (0)800 688588

National Grid Electricity Emergency Number:
0800 40 40 90*

National Gas Emergency Number:
0800 111 999*

* Available 24 hours, 7 days/week.
Calls may be recorded and monitored.

www.nationalgrid.com

Date: 24/10/2013
Our Ref: NL_TE_Z6_3SW_042170
Your Ref: HORNBEAM HOUSE

RE: Proposed Works, IG9 6JU

Thank you for your enquiry which was received on 17/10/2013.

Please note this response and any attached map(s) are valid for 28 days.

An assessment has been carried out with respect to National Grid Electricity Transmission plc's and National Grid Gas plc's apparatus. Please note it does not cover the items listed in the section "Your Responsibilities and Obligations", including gas service pipes and related apparatus.

For details of National Grid's network areas please see the National Grid website (<http://www.nationalgrid.com/uk/Gas/Safety/work/>) or the enclosed documentation.

As your works are at a "proposed" stage, any maps and guidance provided are for information purposes only. This is not approval to commence work. You must submit a "Scheduled Works" enquiry at the earliest opportunity and failure to do this may lead to disruption to your plans and works. National Grid will endeavour to provide an initial assessment within 14 days of receipt of a Scheduled Works enquiry and dependent on the outcome of this, further consultation may be required.

In any event, for safety and legal reasons, works must not be carried out until a Scheduled Works enquiry has been completed and final response received.

Your Responsibilities and Obligations

The "Assessment" Section below outlines the detailed requirements that must be followed when planning or undertaking your scheduled activities at this location.

It is your responsibility to ensure that the information you have submitted is accurate and that all relevant documents including links are provided to all persons (either direct labour or contractors) working for you near National Grid's apparatus, e.g. as contained within the Construction (Design and Management) Regulations.

This assessment solely relates to National Grid Electricity Transmission plc (NGET) and National Grid Gas plc (NGG) apparatus. This assessment does **NOT** include:

- National Grid's legal interest (easements or wayleaves) in the land which restricts activity in proximity to National Grid's assets in private land. You must obtain details of any such restrictions from the landowner in the first instance and if in doubt contact National Grid.
- Gas service pipes and related apparatus
- Recently installed apparatus
- Apparatus owned by other organisations, e.g. other gas distribution operators, local electricity companies, other utilities, etc.

It is **YOUR** responsibility to take into account whether the items listed above may be present and if they could be affected by your proposed activities. Further "Essential Guidance" in respect of these items can be found on the National Grid Website (<http://www.nationalgrid.com/NR/rdonlyres/6D6525F9-59EB-4825-BA89-DBD7E68882C7/51319/EssentialGuidance.pdf>).

This communication does not constitute any formal agreement or consent for any proposed development work; either generally or with regard to National Grid's easements or wayleaves nor any planning or building regulations applications.

NGG and NGET or their agents, servants or contractors do not accept any liability for any losses arising under or in connection with this information. This limit on liability applies to all and any claims in contract, tort (including negligence), misrepresentation (excluding fraudulent misrepresentation), breach of statutory duty or otherwise. This limit on liability does not exclude or restrict liability where prohibited by the law nor does it supersede the express terms of any related agreements.

If you require further assistance please contact the National Grid Plant Protection team via e-mail ([click here](#)) or via the contact details at the top of this response.

Yours faithfully

National Grid Plant Protection Team

ASSESSMENT

Affected Apparatus

The National Grid apparatus that has been identified as being in the vicinity of your proposed works is:

- Low or Medium pressure (below 2 bar) gas pipes and associated equipment. (As a result it is highly likely that there are gas services and associated apparatus in the vicinity)

Requirements

BEFORE carrying out any work you must:

- Carefully read these requirements including the attached guidance documents and maps showing the location of National Grid apparatus.
- Contact the landowner and ensure any proposed works in private land do not infringe National Grid's legal rights (i.e. easements or wayleaves). If the works are in the road or footpath the relevant local authority should be contacted.
- Ensure that all persons, including direct labour and contractors, working for you on or near National Grid's apparatus follow the requirements of the HSE Guidance Notes HSG47 - 'Avoiding Danger from Underground Services' and GS6 – 'Avoidance of danger from overhead electric power lines'. This guidance can be downloaded free of charge at <http://www.hse.gov.uk>
- In line with the above guidance, verify and establish the actual position of mains, pipes, cables, services and other apparatus on site before any activities are undertaken.

GUIDANCE

Excavating Safely - Avoiding injury when working near gas pipes:

http://www.nationalgrid.com/NR/ronlyres/2D2EEA97-B213-459C-9A26-18361C6E0B0D/25249/Digsafe_leaflet3e2finalamends061207.pdf

Standard Guidance

Essential Guidance document:

<http://www.nationalgrid.com/NR/ronlyres/6D6525F9-59EB-4825-BA89-DBD7E68882C7/51319/EssentialGuidance.pdf>

General Guidance document:

<http://www.nationalgrid.com/NR/ronlyres/55C13C4D-A1AA-4B13-BFDA-1CF59F88B326/51318/GeneralGuidance.pdf>

Excavating Safely in the vicinity of gas pipes guidance (Credit card):

<http://www.nationalgrid.com/NR/ronlyres/A3D37677-6641-476C-9DDA-E89949052829/44257/ExcavatingSafelyCreditCard.pdf>

Excavating Safely in the vicinity of electricity cables guidance (Credit card):

<http://www.nationalgrid.com/NR/ronlyres/35DDEC6D-D754-4BA5-AF3C-D607D05A25C2/44858/ExcavatingSafelyCreditCardelectricitycables.pdf>

Copies of all the Guidance Documents can also be downloaded from the National Grid Website:

<http://www.nationalgrid.com/uk/Gas/Safety/work/downloads/>

ENQUIRY SUMMARY

Received Date

17/10/2013

Your Reference

HORNBEAM HOUSE

Location

Centre Point: 541997, 193306

X Extent: 22

Y Extent: 34

Postcode: IG9 6JU

Location Description: IG9 6JU

Map Options

Paper Size: A4

Orientation: LANDSCAPE

Requested Scale: 500

Actual Scale: 1:1250 (GAS)

Real World Extents: 361m x 196m (GAS)

Recipients

pprsteam@uk.ngrid.com

Enquirer Details

Organisation Name: Pellings

Contact Name: Adam Greenhalgh

Email Address: bromley@pellings.co.uk

Telephone: 0208 460 9114

Address: 24 Widmore Road, Bromley, Kent, BR1 1RY

Description of Works

MAP FOR INFORMATION PURPOSES

Enquiry Type

Proposed Works

Activity Type

General Excavation

Work Types

Work Type: Plans Only

Adam Greenhalgh

From: SPHatfield <SPHatfield@environment-agency.gov.uk>
Sent: 23 October 2013 17:49
To: Adam Greenhalgh
Subject: RE: Epping Forest DC - potential development sites

Dear Adam,

Further to your letters dated 16 October (your ref: AG/dh/612.023/05), we have the following comments to make on the specific sites listed below (please note that comments on three sites – Rear of shops, Loughton Way, Buckhurst Hill; Pentlow Way, Buckhurst Hill and Site B, Marlescroft Way, Loughton – will follow on or before 7 November due to additional site constraints).

Sites: Burton Road, Debden
White Hills, Loughton
Thatchers Close, Loughton
Site A, Pyries (**note:** should be 'Pyrles') Lane, Loughton
Site B, Pyries (**note:** should be 'Pyrles') Lane, Loughton
Site A, Chequers Road, Loughton
Site B, Chequers Road, Loughton
Site A, Langley Meadow, Loughton
Site B, Langley Meadow, Loughton
Hornbeam Close, Buckhurst Hill
Hornbeam House, Hornbeam Road, Buckhurst Hill
Bourne House, Hornbeam Road, Buckhurst Hill
Bushfields, Loughton
Etheridge Road, Loughton
Lower Alderton Hall Lane, Loughton
Ladyfields, Loughton
Kirby Close, Loughton
Chester Road, Loughton
Hillyfields, Loughton

Comments

As we are in an area of serious water stress, we endorse the efficient use of water resources. Residential developments such as your proposal should take advantage of water efficient technologies. This is in line with Epping Forest's local policy CP5 which states that the efficient use of water is encouraged through water efficient appliances and rainwater harvesting for example.

Every opportunity should be taken to maximise Sustainable Drainage Systems (SuDS) such as green roofs, ponds, swales and permeable pavements, to alleviate surface water runoff. I have attached a copy of our SuDS guidance, which contains the SuDS hierarchy, to help you with your designs. The methods at the top of the hierarchy are preferred because they are beneficial in terms of sustainability and biodiversity. The hierarchy should be used in descending order. Tanks should only be used as a last resort. Epping Forest's local policy U3B on sustainable drainage systems advocates this approach.

As the sites are all under a hectare in Flood Zone 1, they fall within cell F5 of our Flood Risk Standing Advice consultation matrix. Epping Forest Local Planning Authority will therefore be responsible for assessing flood risk at these sites.

Kind regards,

Clark Gordon
Sustainable Places Planning Advisor
Environment Agency
North East Thames Area - Hatfield Team
01707 632308



The climate is changing. Are you?

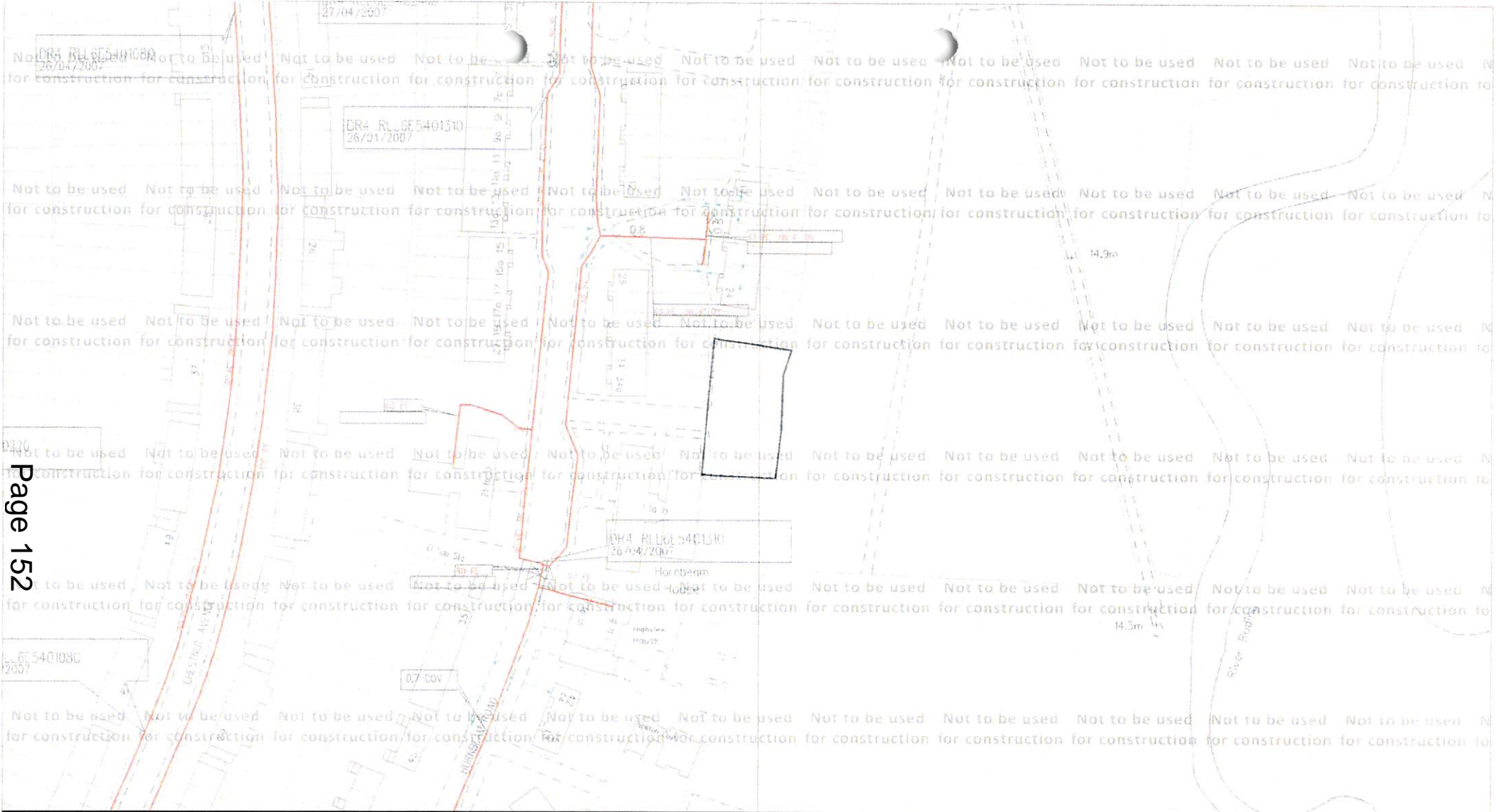
A support service led by the Environment Agency
www.environment-agency.gov.uk/carbonready

🖨️ please consider the environment - do you really need to print this email?

Information in this message may be confidential and may be legally privileged. If you have received this message by mistake, please notify the sender immediately, delete it and do not copy it to anyone else.

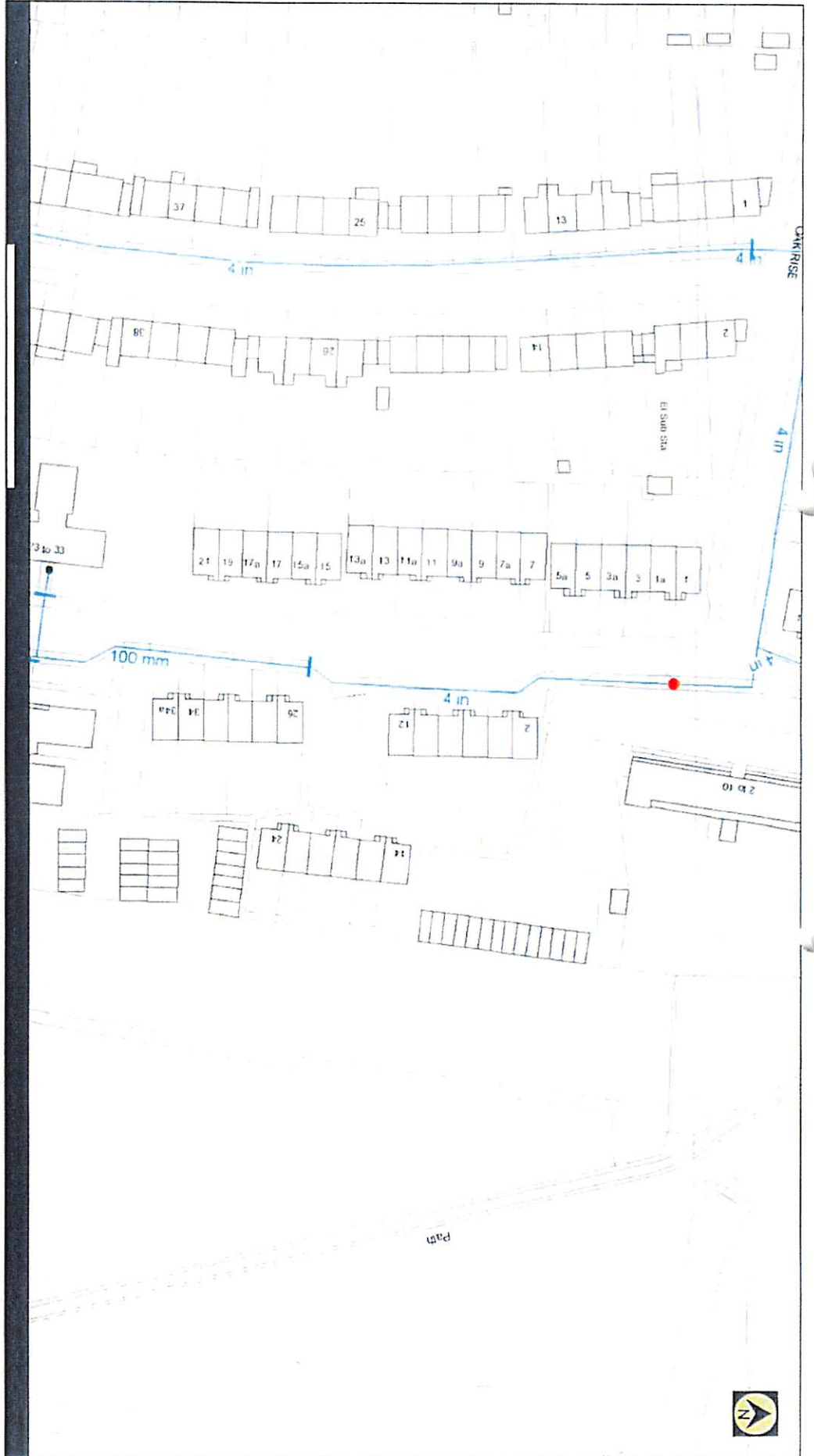
We have checked this email and its attachments for viruses. But you should still check any attachment before opening it.

We may have to make this message and any reply to it public if asked to under the Freedom of Information Act, Data Protection Act or for litigation. Email messages and attachments sent to or from any Environment Agency address may also be accessed by someone other than the sender or recipient, for business purposes.



Page 152

ID: NL_TE_Z6_3SW_042170		View extent: 361m, 196m		Map not to be used for construction		Map 1 of 1 (GAS)	
USER: roy.x.jones		LP MAINS		<p>This plan shows those pipes owned by National Grid Gas plc in its role as a Licensed Gas Transporter (GT). Gas pipes owned by other GTs, or otherwise privately owned, may be present in this area. Information with regard to such pipes should be obtained from the relevant owners. The information shown on this plan is given without warranty, the accuracy thereof cannot be guaranteed. Service pipes, valves, syphons, stub connections, etc., are not shown but their presence should be anticipated. No liability of any kind whatsoever is accepted by National Grid Gas plc or their agents, servants or contractors for any error or omission. Safe digging practices, in accordance with HS(G)47, must be used to verify and establish the actual position of mains, pipes, services and other apparatus on site before any mechanical plant is used. It is your responsibility to ensure that this information is provided to all persons (either direct labour or contractors) working for you on or near gas apparatus. The information included on this plan should not be referred to beyond a period of 28 days from the date of issue.</p>			
DATE: 24/10/2013		MP MAINS					
DATA DATE: 15/10/2013		IP MAINS					
REF: HORNBEAM HOUSE		LHP MAINS					
MAP REF: TQ4193		NHP MAINS					
CENTRE: 541997, 193306		 Approximate scale 1:1250 on A4 Colour Landscape		MAPS Plot Server Version 1.7.6 Requested by: Pellings			
Valve Depth of Cover Syphon Diameter Change Material Change		This plan is reproduced from or based on the OS map by National Grid Gas plc, with the sanction of the controller of HM Stationery Office. Crown Copyright Reserved. Ordnance Survey Licence number 100024886					



(c) Crown Copyright and database rights 2012 Ordnance Survey 100019345 Date: 23/10/13 Scale: 1:1083 Map Centre: 541970.2, 193359.7 Data updated: 16/08/13 Clean Water Plan A4

Based on the Ordnance Survey Map with the sanction of the Controller of H.M. Stationery Office License Number: 100019345. This map is to be used for the purposes of viewing the location of Thames Water plant only. Any other uses of the map data or other copies are not permitted. The position of the apparatus shown on this plan is given without obligation and warranty, and the accuracy cannot be guaranteed. This information is valid for the date printed. Service pipes are not shown but their presence should be anticipated. No liability of any kind whatsoever is accepted by Thames Water for any error or omission. The actual position of mains and surveys must be verified on site before any works are undertaken.

Water Main		Meter	
Private Water		Valve	
Proposed Water		Hydrant	
Abandoned Asset		End Item	

agreenthalgh@pellings.co.uk





(c) Crown Copyright and database rights 2012 Ordnance Survey 100019345

Date: 23/10/13

Scale: 1:1083

Map Centre: 541970.2,193359.7 Data updated: 16/08/13

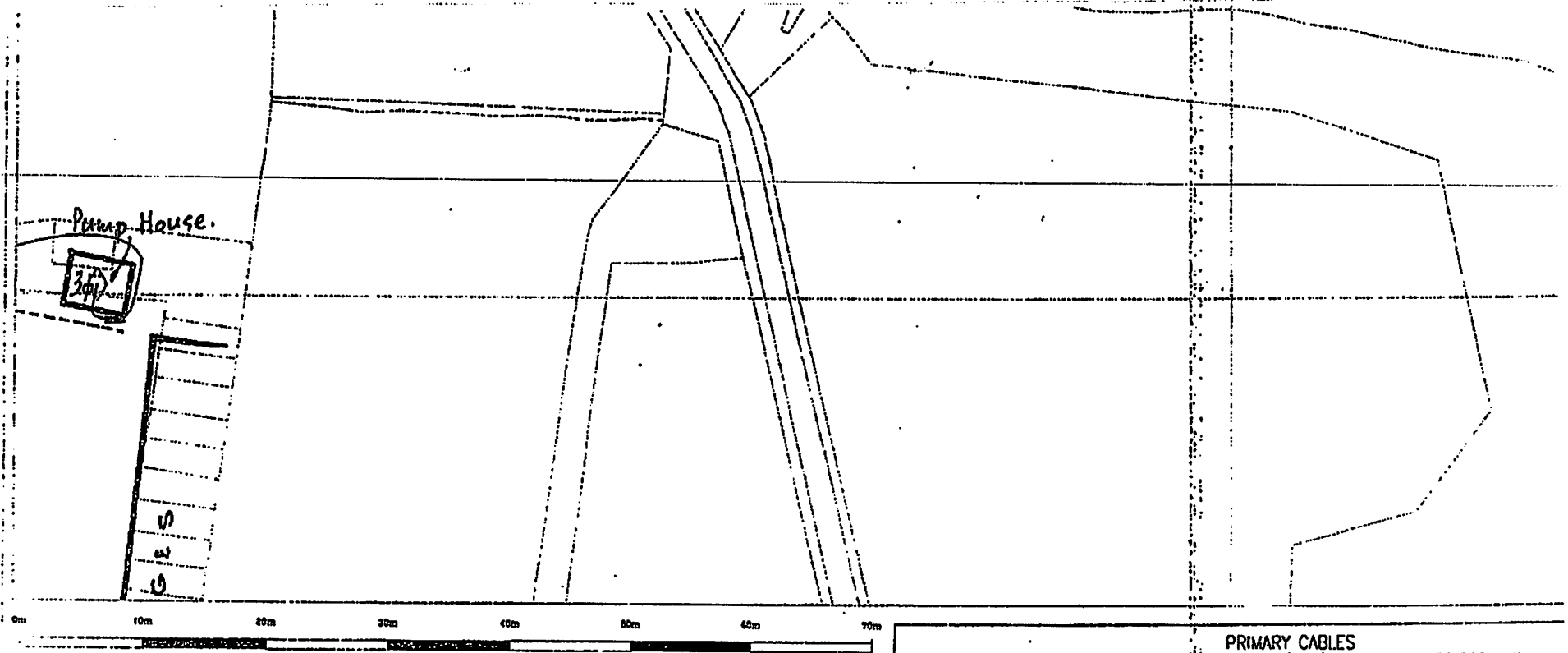
Wastewater Plan A4

Based on the Ordnance Survey Map with the sanction of the Controller of H.M. Stationary Office License Number:- 100019345. This map is to be used for the purposes of viewing the location of Thames Water plant only. Any other uses of the map data or further copies are not permitted. The position of the apparatus shown on this plan is given without obligation and warranty, and the accuracy cannot be guaranteed. This information is valid for the date printed. Service pipes are not shown but their presence should be anticipated. No liability of any kind whatsoever is accepted by Thames Water for any error or omission. The actual position of mains and services must be verified on site before any works are undertaken.

Four Sewer		Four Manhole	
Surface Sewer		Surface Manhole	
Combined Sewer		Combined Manhole	
Abandoned Sewer		Abandoned Manhole	
Pressure Man		Other Manhole	
Private Asset (Cable service effort type)		End Item	
Proposed Asset (Cable service effort type)		S104 Boundary	

agreenhalgh@pellings.co.uk





Plotted On : 22/10/2013

Plotted By : Kav Singh

Plot Description : Contents of plot menu line title_line_1

Contents of plot menu line title_line_2

Map Centre : TQ4293SW

UK Power Networks
 Plan Provision
 Fore Hamlet
 IPSWICH
 Suffolk
 IP3 8AA
 Tel 0800 0565 866
 Fax 08701 963782



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PRIMARY CABLES
EXTRA HIGH VOLTAGE CABLES (EHV) 22,000 TO 132,000 Volts

Depth normally 750mm cover in carriageway & 600mm cover in footway.
 Before digging within one metre of these cable routes
 Telephone 0800 056 5866 in order that the Company's apparatus may be located
 any necessary protection works agreed.

N.B. THRUST BORERS OR MOLES MUST NOT BE USED WITHIN THE VICINITY OF ANY CABLES BELONGING TO UK POWER NETWORKS WITHOUT FIRST CONTACTING THIS COMPANY.

1. The position of the apparatus shown on this drawing is believed to be correct but landmarks may have been altered since the apparatus was installed.
2. The exact position of the apparatus should be verified - use approved cable avoidance equipment prior to excavation using suitable hand tools.
3. It is essential that trial holes are carefully made avoiding the use of mechanical picks until the exact location of all cables have been determined.
4. It must be assumed that there is a service cable into each property, lamp column sign, etc.
5. All cables must be treated as being live unless proved otherwise by UK Power Networks.
6. The information provided must be given to all people working near UK Power Networks equipment. Do not use plans more than 3 months after the issue date for excavation.
7. Please be aware that electric cables/lines belonging to other owners of licensed distribution systems may be present and it is your responsibility to identify their location.

Appendix E

Information on Possible Contamination

Information on possible contamination has been forwarded by Epping Forest District Council by way of email of 22nd May 2013, giving information on potential contamination across all the primary sites.

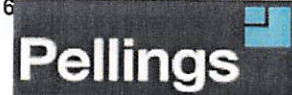
This clarifies possible ground contamination derived from asbestos, made ground, hydrocarbons, petroleum hydrocarbons and the like.

It is likely that any Planning Consent will carry a Condition that all contamination issues are to be remediated.

Accordingly, we recommend that initial site investigation is undertaken for all sites that move forward to Planning Applications.

Appendix F

Cost Build-up

Indicative Estimate of Cost
for East Thames HA

28 November 2013

Gross Internal floor area	m2	ft2
Affordable Flat Units	0	0
Allowance for communal space @ 20%	0	0
Affordable House Units	186	2,002
TOTAL GIA	186	2,002

Item	Element	Qty	Unit	Rate £/unit	Total £
1.0 Demolition					
1.1	Demolition	336	m ²	50	16,802
2.2	Site clearance	363	m ²	10	3,627
1.2	Allowance for removal of asbestos	22	No	800	17,600
	Sub-total			say	40,000
2.0 Affordable Flat units (xx nr. units)					
2.1	Flats Private areas	0	m ²	1,350	0
2.2	Flats communal areas (20% allowed)	0	m ²	900	0
	Sub-total			say	0
3.0 Affordable House units (02 nr. units)					
3.1	House areas	186	m ²	1,250	233,000
	Sub-total			say	230,000
4.0 Abnormals / E/o and External Works					
4.1	Private gardens (incl. fencing)	161	m ²	40	6,000
4.2	Communal Gardens	216	m ²	30	6,000
4.3	Access road, parking and turning	206	m ²	65	13,000
4.4	Pedestrian paving	0	m ²	50	Incl.
4.5	Cross over / highways adaptations	2	item	2,000	4,000
4.6	Allowance for contaminated ground	0	item		Excl.
4.7	Boundary treatment (fencing/walls)	115	m	160	18,000
4.8	Allowance for achieving CfSh Level 3	2	nr	4,500	9,000
	Sub-total			say	60,000
				£/m ²	£/ft ²
	INDICATIVE CONSTRUCTION COST				330,000
	CONTINGENCY @ 5%				20,000
	CONTRACTORS DESIGN FEES @ 8%				28,000
	PRELIMS AND OVERHEADS AT 15%				49,500
	TOTAL INDICATIVE CONSTRUCTION COST			2,298	427,500

Clarifications and Assumptions

Estimate based on Pellings Feasibility drawings and standard ETG specifications
 GIA is approximate due to early stage of design
 Costs are based on a Q3 2014 start on site
 Costs are based on a Single Stage Competitive D&B procurement route
 Costs are based on a Contractor 'best programme' contract period
 All units assumed to achieve Code for sustainable Homes Level 3
 It is assumed that a traditional construction (concrete strip foundations, brick/block walls, timber floor structure, sloped tiled roofs) will be used
 Contractors design fees are based upon appointment with planning consent under JCT D&B contract
 Assumed no Party Wall or Rights of Lights issues

Exclusions
 Clients professional fees (including statutory fees)
 VAT
 Hazardous material removal
 Excludes any off-site works
 Provision of loose fittings and furnishings
 Costs of compliance of any conditions imposed by TFL or other statutory bodies
 Costs of Section 106, S108, S278 Agreement(s) or Community Infrastructure Levy charges

**East Thames Housing / Epping Forest District Council
Housing Delivery Programme**

Feasibility Report

Site: 12-36 Bourne House (Garages), Buckhurst Hill, IG9 6JY

Rev: A

Ref: IJC/srs/612.023
Date: September 2014

Contents

1. Introduction and Confirmation of Brief
2. Existing Site and Surroundings
3. Proposals
4. Planning Issues and Risks
5. Impact/Implications of Statutory Services
6. Site Access and Buildability Issues
7. Neighbourly Matters and Party Walls
8. Proposed Procurement Route
9. Impact on Parking
10. Legals
11. Costs
12. Recommendations and Conclusions

Appendices

- A: Development Proposals – Drawings 612.023/P2-4A
- B: Site Photographs
- C: Existing Site Plan 201206014-AA
- D: Statutory Services Information
- E: Information on Possible Contamination
- F: Cost Build-up

1.0 Introduction and Confirmation of Brief

- 1.1. Pellings LLP are appointed as part of East Thames Group Technical Team in respect of delivery of Development Agent services to Epping Forest District Council for a six year housing delivery programme.
- 1.2. Following initial appraisal by EFDC, 59 sites have been identified as having possible development potential, with a further number of sites in reserve.
- 1.3. Pellings LLP have been instructed to progress feasibility studies to all 59 sites and which will assist in establishing the extent and timing of the overall programme.
- 1.4. Our instructions are in accordance with our fee tender of 13 August 2012, against the previously prepared tender documentation, and email confirmation of 9 April 2013.

2.0 Existing Site and Surroundings

- 2.1. The site is located on the eastern side of Buckhurst Hill in a residential area comprising houses and flats approximately half a mile south of Buckhurst Hill station.
- 2.2. The site consists of 25 garages and hardstanding and it is accessed by way of a 3.5m driveway between properties on Hornbeam Road. The site is situated at the rear of nos. 54-60 Hornbeam Road which are within a two storey building with a rear garden. The adjoining sites are also residential, including Bourne House, which is a four storey block of flats. The site adjoins a sports ground to the rear (i.e. east).
- 2.3. There are a number of mature trees either on or close to the site.

3.0 Proposals

- 3.1. Read in conjunction with drawings 612.023.P2-4A attached at Appendix A.
- 3.2. The proposals are :

2 x 3 bed houses, 2 storey
Provision of 7 parking spaces and garden/landscaped areas

4.0 Planning Issues and Risks

Relevant Planning Policies/Considerations

- 4.1. The adopted Development Plan for Epping Forest District Council is the Combined Local Plan 1998 and Local Plan Alterations 2006.
- 4.2. The site is not located in a Conservation Area it is not designated for any particular purposes in the Epping Forest District Council Combined Local Plan 1998 and Local Plan Alterations 2006. The site does not lie in Flood Zone on the Environment Agency Flood Map.
- 4.3. There are no specific policies which prevent the loss of existing garages although policy ST4 (Road Safety) states that planning permission will only be granted where there will be no adverse effects on the highway, traffic congestion or harm to the character or appearance of the area. Parking spaces to meet with the Council's standards are proposed for the new dwellings.

- 4.4. It will be necessary to undertake a Parking Survey and to prepare a Transport Statement to demonstrate that the loss of the garages and proposed development would not cause any parking shortfalls or harm to highway conditions or the amenities of the area.
- 4.5. The site is located in the settlement of Buckhurst Hill and the proposal would be consistent with policy CP7 which encourages the efficient use of existing built-up areas by the 'recycling of vacant, derelict, degraded and under-used land to accommodate the development' and the 're-use of urban sites, which are no longer appropriate to their existing or proposed use in the foreseeable future, for alternative land uses'.
- 4.6. The proposal would comply with policy H4A which states the need for a range of dwellings, including an appropriate proportion of smaller dwellings, to meet identified housing need on a site-by-site basis.
- 4.7. The development of small family homes with rear gardens and private and communal parking would be in keeping with the character and appearance of the area and may comply with Epping Forest's design policies and guidance.

5.0 **Impact/Implications of Statutory Services**

5.1. We have undertaken statutory services enquiries to the following:

- Southern Gas
- Cable and Wireless
- Virgin Media
- Thames Water
- BT
- National Grid
- Scottish and Southern Energy
- Environment Agency
- UK Power Networks

5.2. Responses received to date are from the Environment Agency, National Grid, UK Power Networks, Virgin Media and Thames Water.

5.3. The Environment Agency do not note any significant constraints but recommend measures to achieve water efficiency and the use of Sustainable Urban Drainage systems.

5.3.1. National Grid: No apparatus appears to cross the site

5.3.2. UK Power Networks: No apparatus appears to cross the site

5.3.3. Virgin Media: No apparatus appears to cross the site

5.4. Thames Water: No apparatus appears to cross the site

5.5. It should be noted there are a number of responses to enquiries that, at time of preparation of this report, have not yet been received.

6.0 **Site Access and Buildability Issues**

6.1. The site is accessed from existing site roads and there would not appear to be any particular difficulties for the normal level and size of construction traffic associated with a development of this nature.

- 6.2. Areas should be available for contractor's site set up and accommodation.
- 6.3. The site is within a primarily residential area and, accordingly, any appointed contractor should use all best endeavours to act in a considerate manner and within normal working hours.
- 6.4. Further to initial enquiries made to EFDC, some potential contamination issues have been highlighted with use of the domestic garages, and also a former horticultural nursery. Possible contaminants in respect of the former use as a nursery are summarised and indicated within the note produced by EFDC Planning and Economic Development Directorate at Appendix E.
- 6.5. Possible contaminants in respect of the previous use of the garage site may include asbestos, ash and clinker, hydro-carbons from vehicle maintenance and the like.
- 6.6. Accordingly, suitable site investigation will need to be undertaken ahead of any proposals to take this site forward and specific recommendations made to deal with any contamination found, whether by capping or removal from site.
- 6.7. The site is accessed by way of a narrow driveway and as at present, our proposals do not include a turning head for refuse or emergency vehicles. Accordingly, subject to detailed design, an independent refuse storage area may be required along with sprinkler provision to the new houses for fire protection.

7.0 **Neighbourly Matters and Party Walls**

- 7.1. As above, the proposed development site is within a primarily residential area and the appointed contractor should act in a considerate manner. It is proposed that restrictions on working hours, noise levels, requirement for resident liaison and similar matters will be included within contract documentation.
- 7.2. From proposals on Drawing 612.023/P2-4A, it is not considered that Party Wall matters will be relevant.

8.0 **Proposed Procurement Route**

- 8.1. It is understood that development works will be procured by way of the East Thames Housing Group existing contractor framework arrangements.
- 8.2. It is proposed that works shall be procured on a Design and Build basis with the contractors taking forward RIBA Stage D planning consent drawings into detailed design and construction delivery on site.
- 8.3. Schemes shall be designed to a set of Employer's Requirements to be subsequently confirmed but which substantially shall be formed from existing East Thames Housing Group Design Standards and Employer's Requirement documentation.
- 8.4. It is proposed that all site preparation works will be included within individual contract packages including any required demolitions, adjustment of statutory services, highways works and boundary maintenance/reinstatement/provision.

- 8.5. On completion of the feasibility studies for the whole programme, further recommendations will be made in terms of how works are packaged to ensure size of work packages are optimised for ensuring maximum economies for East Thames Housing Group and EFDC.
- 8.6. It is considered, at this stage, that this may be by way of a mix of different sized contractors dependent upon the numbers and geographical location of individual works packages.
- 8.7. Works will be administered by Pellings LLP as Employer's Agent acting in accordance with East Thames Housing Group terms of appointment and the overarching requirements of the Development Agency agreement.

9.0 **Impact on Parking**

9.1. The Council's currently adopted parking standards are contained within Essex County Council's Parking Standards Design and Good Practice Guide – September 2009. These revised standards were adopted by the Council as statutory planning guidance in February 2012.

9.2. Flats and houses have the same parking standard as follows:

- 1 bedroom accommodation – 1 space per dwelling
- 2 bedroom accommodation and above – 2 spaces per dwelling
- Visitor parking – 0.25 spaces per dwelling (rounded up to the nearest whole number)

9.3. The proposals would appear to more than meet the Council's parking standards for new development.

9.4. However, should the site move forward to planning application stages, it is recommended that a Transport Statement be undertaken, including parking surveys, to demonstrate that the loss of the garages will not give rise to any planning or highway problems.

10.0 **Legals**

10.1. We have been provided with a Summary Report of legal matters from EFDC Solicitors. The report makes reference to the suggested appropriation of land for planning purposes which would extinguish any prior rights of way.

10.2. The report makes reference to possible rights of light risk. A blanket policy against such risk might be considered.

10.3. There is a possible right of way for Estuary Housing Association over the corner of the site (access from Newton Court). This would appear to be unaffected by proposals however.


11.0 **Costs**

11.1. It is considered that a budget of £427,500.00 should be allowed for this scheme, inclusive of contractor design fees, but exclusive of professional fees and VAT. Please refer to Appendix F.

12.0 **Recommendations and Conclusions**

12.1. Subject to an overall lifetime cost appraisal, we conclude that the site appears to have economic development opportunities and we recommend is considered for taking forward to planning application stage, with a view to incorporating into the overall programme.

Signed:


.....
Pellings/LLP

Date: 1st October 2014
.....

Appendix A

Development Proposals

Drawings 612.023.P2-4A



TOTALS
 Site Area 0.064 Ha
 2 x 3 Bed Houses @ 93 sqm
 7 Parking Spaces

NOTES:
 Report all discrepancies, errors and omissions
 Do not scale from this drawing.
 Verify all dimensions on site before commencing any work or preparing shop drawings.
 All materials, components and workmanship are to comply with all the relevant British Standards, Codes of Practice, and appropriate manufacturers recommendations that from time to time shall apply.
 For all specialist work, see relevant drawings.
 This drawing and design are copyright of PELLINGS LLP

PRELIMINARY

Rev	Date	Description	Name
-	-/-/-		



Pellings LLP 24 Widmore Road Bromley Kent BR1 1RY t 020 8460 9114 f 020 8313 0019 e bromley@pellings.co.uk www.pellings.co.uk		Architecture & Planning ■ Building Surveying ■ Project Management ■ Cost Consultancy ■ CDM Co-ordination	
CLIENT	East Thames HA	PROJECT	EFDC House Building Programme
TITLE	Existing and Proposed Plans Bourne House	DATE	NOV 2013
		SCALE	1:500 @A3
		DRAWN	NP
		CHK	
DRAWING No		612 023 P2-4 A	

Appendix B

Site Photographs

Appendix B - Site Photographs

1.



2.



3.



4.



5.

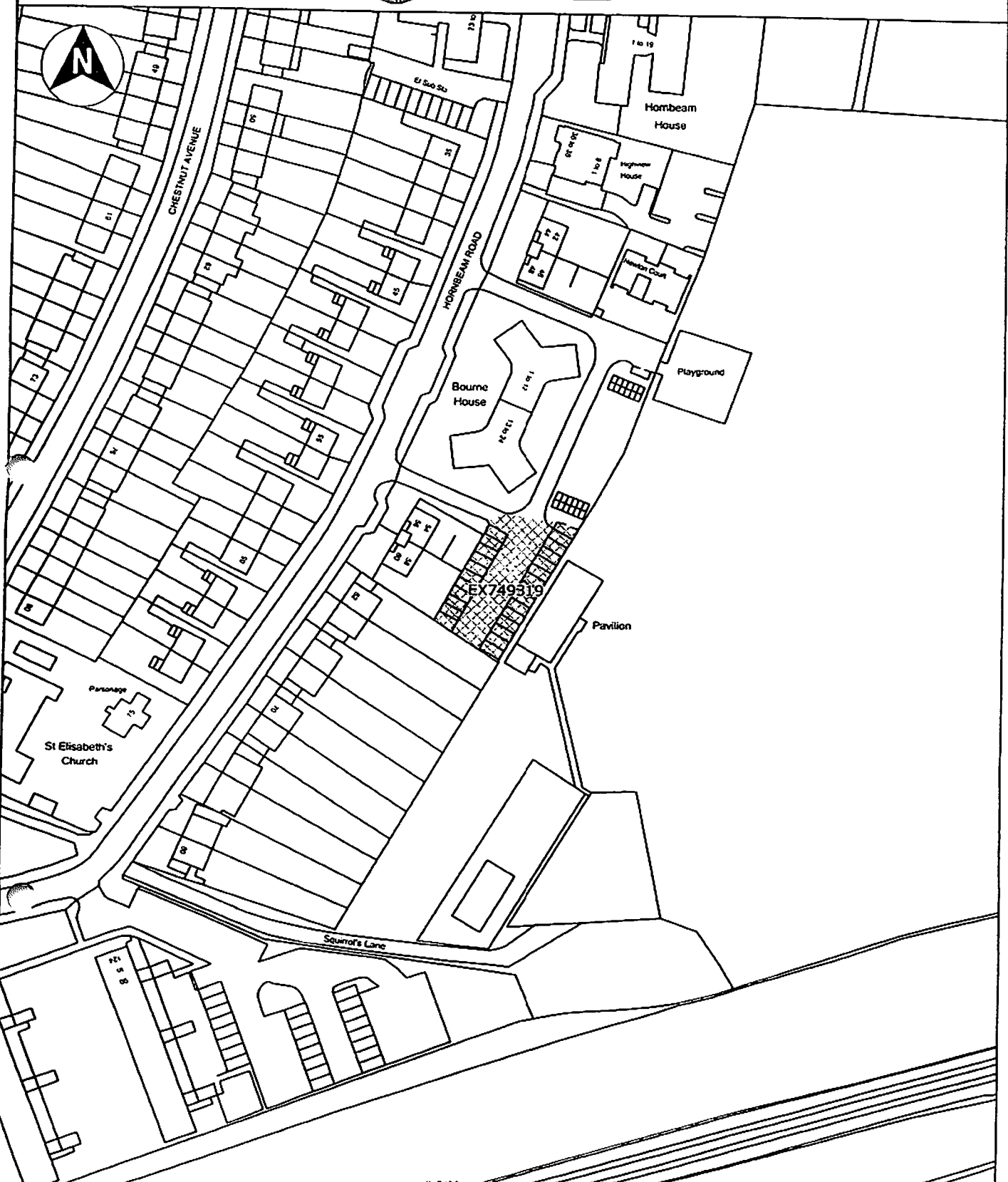


6.



Appendix C

Existing Site Plan



Contains Ordnance Survey & Royal Mail Data
 © Crown Copyright & Database Right 2011
 EFDC License No: 100018534 2011

Directorate of Environment & Street Scene Civic Offices High Street Epping, Essex, CM16 4BZ Tel. 01992 564000	Project Potential Site for Council House Building Program	Content Bourne House Hornbeam Road Buckhurst Hill	Date 04/07/12
	Drawing No. 201206014 - A		Scale 1:1250 @ A4 Drawn By Robert Irwin

Appendix D

Statutory Services Information

Adam Greenhalgh
Pellings
24 Widmore Road
Bromley
Kent
BR1 1RY

Plant Protection
National Grid
Block 1; Floor 1
Brick Kiln Street
Hinckley
LE10 0NA
E-mail: plantprotection@nationalgrid.com
Telephone: +44 (0)800 688588

National Grid Electricity Emergency Number:
0800 40 40 90*

National Gas Emergency Number:
0800 111 999*

* Available 24 hours, 7 days/week.
Calls may be recorded and monitored.

www.nationalgrid.com

Date: 23/10/2013

Our Ref: NL_TE_Z6_3SW_041948

Your Ref: Bourne House. Ia079

RE: Proposed Works, IG9 6JY, Bourne house, Hornbeam Road, Buckhurst Hill

Thank you for your enquiry which was received on 17/10/2013.

Please note this response and any attached map(s) are valid for 28 days.

An assessment has been carried out with respect to National Grid Electricity Transmission plc's and National Grid Gas plc's apparatus. Please note it does not cover the items listed in the section "Your Responsibilities and Obligations", including gas service pipes and related apparatus.

For details of National Grid's network areas please see the National Grid website (<http://www.nationalgrid.com/uk/Gas/Safety/work/>) or the enclosed documentation.

As your works are at a "proposed" stage, any maps and guidance provided are for information purposes only. This is not approval to commence work. You must submit a "Scheduled Works" enquiry at the earliest opportunity and failure to do this may lead to disruption to your plans and works. National Grid will endeavour to provide an initial assessment within 14 days of receipt of a Scheduled Works enquiry and dependent on the outcome of this, further consultation may be required.

In any event, for safety and legal reasons, works must not be carried out until a Scheduled Works enquiry has been completed and final response received.

Your Responsibilities and Obligations

The "Assessment" Section below outlines the detailed requirements that must be followed when planning or undertaking your scheduled activities at this location.

It is your responsibility to ensure that the information you have submitted is accurate and that all relevant documents including links are provided to all persons (either direct labour or contractors) working for you near National Grid's apparatus, e.g. as contained within the Construction (Design and Management) Regulations.

This assessment solely relates to National Grid Electricity Transmission plc (NGET) and National Grid Gas plc (NGG) apparatus. This assessment does **NOT** include:

- National Grid's legal interest (easements or wayleaves) in the land which restricts activity in proximity to National Grid's assets in private land. You must obtain details of any such restrictions from the landowner in the first instance and if in doubt contact National Grid.
- Gas service pipes and related apparatus
- Recently installed apparatus
- Apparatus owned by other organisations, e.g. other gas distribution operators, local electricity companies, other utilities, etc.

It is **YOUR** responsibility to take into account whether the items listed above may be present and if they could be affected by your proposed activities. Further "Essential Guidance" in respect of these items can be found on the National Grid Website (<http://www.nationalgrid.com/NR/rdonlyres/6D6525F9-59EB-4825-BA89-DBD7E68882C7/51319/EssentialGuidance.pdf>).

This communication does not constitute any formal agreement or consent for any proposed development work; either generally or with regard to National Grid's easements or wayleaves nor any planning or building regulations applications.

NGG and NGET or their agents, servants or contractors do not accept any liability for any losses arising under or in connection with this information. This limit on liability applies to all and any claims in contract, tort (including negligence), misrepresentation (excluding fraudulent misrepresentation), breach of statutory duty or otherwise. This limit on liability does not exclude or restrict liability where prohibited by the law nor does it supersede the express terms of any related agreements.

If you require further assistance please contact the National Grid Plant Protection team via e-mail ([click here](#)) or via the contact details at the top of this response.

Yours faithfully

National Grid Plant Protection Team

ASSESSMENT

Affected Apparatus

The National Grid apparatus that has been identified as being in the vicinity of your proposed works is:

- Low or Medium pressure (below 2 bar) gas pipes and associated equipment. (As a result it is highly likely that there are gas services and associated apparatus in the vicinity)

Requirements

BEFORE carrying out any work you must:

- Carefully read these requirements including the attached guidance documents and maps showing the location of National Grid apparatus.
- Contact the landowner and ensure any proposed works in private land do not infringe National Grid's legal rights (i.e. easements or wayleaves). If the works are in the road or footpath the relevant local authority should be contacted.
- Ensure that all persons, including direct labour and contractors, working for you on or near National Grid's apparatus follow the requirements of the HSE Guidance Notes HSG47 - 'Avoiding Danger from Underground Services' and GS6 – 'Avoidance of danger from overhead electric power lines'. This guidance can be downloaded free of charge at <http://www.hse.gov.uk>
- In line with the above guidance, verify and establish the actual position of mains, pipes, cables, services and other apparatus on site before any activities are undertaken.

GUIDANCE

Excavating Safely - Avoiding injury when working near gas pipes:

http://www.nationalgrid.com/NR/rdonlyres/2D2EEA97-B213-459C-9A26-18361C6E0B0D/25249/Digsafe_leaflet3e2finalamends061207.pdf

Standard Guidance

Essential Guidance document:

<http://www.nationalgrid.com/NR/rdonlyres/6D6525F9-59EB-4825-BA89-DBD7E68882C7/51319/EssentialGuidance.pdf>

General Guidance document:

<http://www.nationalgrid.com/NR/rdonlyres/55C13C4D-A1AA-4B13-BFDA-1CF59F88B326/51318/GeneralGuidance.pdf>

Excavating Safely in the vicinity of gas pipes guidance (Credit card):

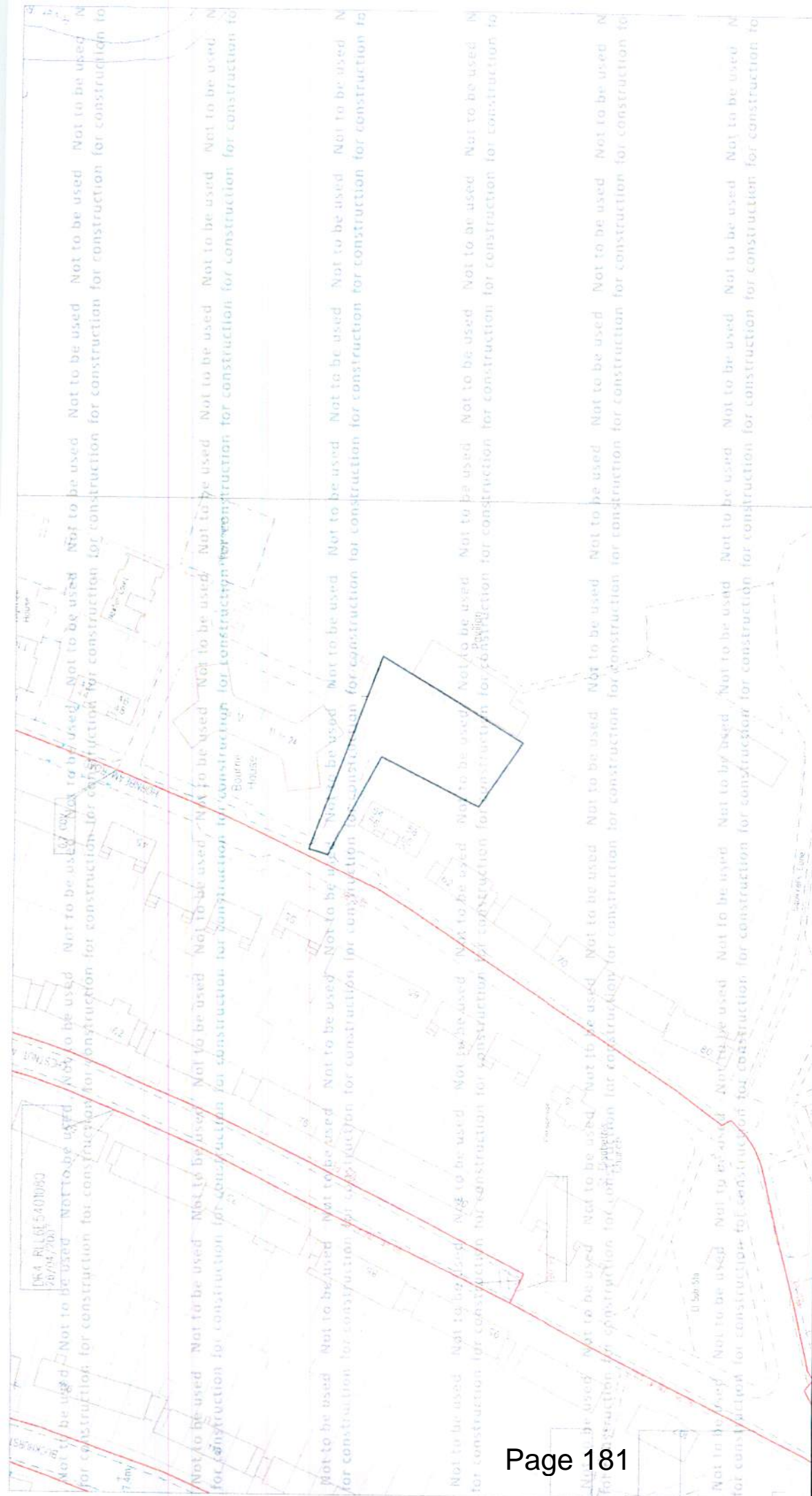
<http://www.nationalgrid.com/NR/rdonlyres/A3D37677-6641-476C-9DDA-E89949052829/44257/ExcavatingSafelyCreditCard.pdf>

Excavating Safely in the vicinity of electricity cables guidance (Credit card):

<http://www.nationalgrid.com/NR/rdonlyres/35DDEC6D-D754-4BA5-AF3C-D607D05A25C2/44858/ExcavatingSafelyCreditCardelectricitycables.pdf>

Copies of all the Guidance Documents can also be downloaded from the National Grid Website:

<http://www.nationalgrid.com/uk/Gas/Safety/work/downloads/>



<p>ID: NL_TE_Z6_3SW_041948 View extent: 361m, 196m</p>	
<p>USER: laura.altenhofen</p>	<p>Map not to be used for construction</p> <p>This plan shows those pipes owned by National Grid Gas plc in its role as a Licensed Gas Transporter (GT). Gas pipes owned by other GTs, or otherwise privately owned, may be present in this area. Information with regard to such pipes should be obtained from the relevant owners. The information shown on this plan is given without warranty, the accuracy thereof cannot be guaranteed. Service pipes, valves, syphons, stub connections, etc., are not shown but their presence should be anticipated. No liability of any kind whatsoever is accepted by National Grid Gas plc or their agents, servants or contractors for any error or omission. Safe digging practices, in accordance with HS(G47), must be used to verify and establish the actual position of mains, pipes, services and other apparatus on site before any mechanical plant is used. It is your responsibility to ensure that this information is provided to all persons (either direct labour or contractors) working for you on or near gas apparatus. The information included on this plan should not be referred to beyond a period of 28 days from the date of issue.</p>
<p>DATE: 23/10/2013</p>	
<p>DATA DATE: 15/10/2013</p>	
<p>REF: Bourne House. Ia079</p>	
<p>MAP REF: TQ4193 CENTRE: 541938, 193154</p>	
<p>Valve Syphon Depth of Cover Diameter Change Material Change </p>	<p>LP MAINS </p> <p>MP MAINS </p> <p>IP MAINS </p> <p>LHP MAINS </p> <p>NHP MAINS </p> <p>0m 25m Approximate scale 1:1250 on A4 Colour Landscape</p>
<p>Map 1 of 1 (GAS) MAPS Plot Server Version 1.7.6</p> <p>nationalgrid</p> <p>Requested by: Pellings</p> <p>This plan is reproduced from or based on the OS map by National Grid Gas plc, with the sanction of the controller of HM Stationery Office. Crown Copyright Reserved. Ordnance Survey Licence number 100024886</p>	

ENQUIRY SUMMARY

Received Date

17/10/2013

Your Reference

Bourne House. Ia079

Location

Centre Point: 541938, 193154

X Extent: 49

Y Extent: 52

Postcode: IG9 6JY

Location Description: IG9 6JY, Bourne house, Hombeam Road, Buckhurst Hill

Map Options

Paper Size: A4

Orientation: LANDSCAPE

Requested Scale: 500

Actual Scale: 1:1250 (GAS)

Real World Extents: 361m x 196m (GAS)

Recipients

pprsteam@uk.ngrid.com

Enquirer Details

Organisation Name: Pellings

Contact Name: Adam Greenhalgh

Email Address: bromley@pellings.co.uk

Telephone: 0208 460 9114

Address: 24 Widmore Road, Bromley, Kent, BR1 1RY

Description of Works

Plans request for potential development site.

Enquiry Type

Proposed Works

Activity Type

Development Project

Work Types

Work Type: Plans Only

Adam Greenhalgh

From: SPHatfield <SPHatfield@environment-agency.gov.uk>
Sent: 23 October 2013 17:49
To: Adam Greenhalgh
Subject: RE: Epping Forest DC - potential development sites

Dear Adam,

Further to your letters dated 16 October (your ref: AG/dh/612.023/05), we have the following comments to make on the specific sites listed below (please note that comments on three sites – Rear of shops, Loughton Way, Buckhurst Hill; Pentlow Way, Buckhurst Hill and Site B, Marlescroft Way, Loughton – will follow on or before 7 November due to additional site constraints).

Sites: Burton Road, Debden
White Hills, Loughton
Thatchers Close, Loughton
Site A, Pyries (note: should be 'Pyrles') Lane, Loughton
Site B, Pyries (note: should be 'Pyrles') Lane, Loughton
Site A, Chequers Road, Loughton
Site B, Chequers Road, Loughton
Site A, Langley Meadow, Loughton
Site B, Langley Meadow, Loughton
Hornbeam Close, Buckhurst Hill
Hornbeam House, Hornbeam Road, Buckhurst Hill
Bourne House, Hornbeam Road, Buckhurst Hill
Bushfields, Loughton
Etheridge Road, Loughton
Lower Alderton Hall Lane, Loughton
Ladyfields, Loughton
Kirby Close, Loughton
Chester Road, Loughton
Hillyfields, Loughton

Comments

As we are in an area of serious water stress, we endorse the efficient use of water resources. Residential developments such as your proposal should take advantage of water efficient technologies. This is in line with Epping Forest's local policy CP5 which states that the efficient use of water is encouraged through water efficient appliances and rainwater harvesting for example.

We suggest you use water efficiency measures and aim to achieve 105 litres/person/day. This is equivalent to level 3/4 for water within the Code for Sustainable Homes. Achieving this standard within new homes can be accomplished at very little additional cost, and is significantly cheaper than retrofitting such measures later.

Every opportunity should be taken to maximise Sustainable Drainage Systems (SuDS) such as green roofs, ponds, swales and permeable pavements, to alleviate surface water runoff. I have attached a copy of our SuDS guidance, which contains the SuDS hierarchy, to help you with your designs. The methods at the top of the hierarchy are preferred because they are beneficial in terms of sustainability and biodiversity. The hierarchy should be used in descending order. Tanks should only be used as a last resort. Epping Forest's local policy U3B on sustainable drainage systems advocates this approach.

As the sites are all under a hectare in Flood Zone 1, they fall within cell F5 of our Flood Risk Standing Advice consultation matrix. Epping Forest Local Planning Authority will therefore be responsible for assessing flood risk at these sites.


Kind regards,

Clark Gordon
Sustainable Places Planning Advisor
Environment Agency
North East Thames Area - Hatfield Team
01707 632308



The climate is changing. Are you?

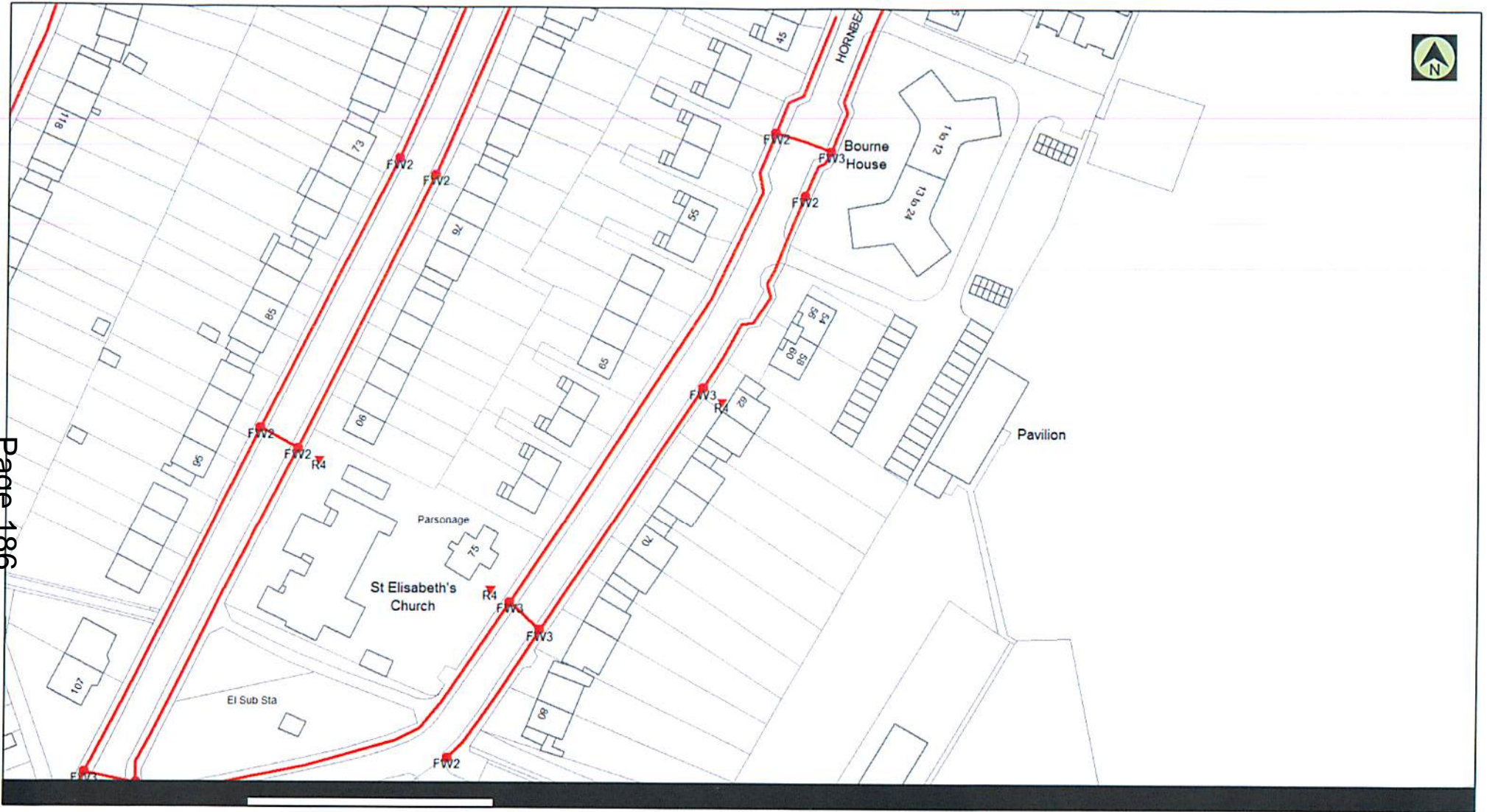
A support service led by the Environment Agency
www.environment-agency.gov.uk/climate-ready

 please consider the environment - do you really need to print this email?

Information in this message may be confidential and may be legally privileged. If you have received this message by mistake, please notify the sender immediately, delete it and do not copy it to anyone else.

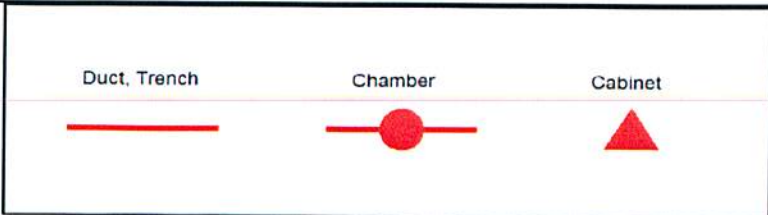
We have checked this email and its attachments for viruses. But you should still check any attachment before opening it.

We may have to make this message and any reply to it public if asked to under the Freedom of Information Act, Data Protection Act or for litigation. Email messages and attachments sent to or from any Environment Agency address may also be accessed by someone other than the sender or recipient, for business purposes.



(c) Crown Copyright and database rights 2011 Ordnance Survey 100019209 Date: 24/10/13 Scale: 1:1083 Map Centre: 541907.8,193144.8 Data updated: 25/08/13 Telecoms Plan A4

Important information - please read
 The purpose of this plan is to identify Virgin Media apparatus. We have tried to make it as accurate as possible but we cannot warrant its accuracy. In addition, we caution that within Virgin Media apparatus there may be instances where main voltage power cables have been placed inside green, rather than black ducting. Further details can be found using the 'Affected Postcodes.pdf', which can be downloaded from this website.
 Therefore, you must not rely solely on this plan if you are carrying out any excavation or other works in the vicinity of Virgin Media apparatus. The actual position of any underground service must be verified by cable detection equipment, etc. and established on site before any mechanical plant is used. Accordingly, unless it is due to the negligence of Virgin Media, its employees or agents, Virgin Media will not have any liability for any omissions or inaccuracies in the plan or for any loss or damage caused or arising from the use of and/or any reliance on the plan.
 This plan is produced by Virgin Media Limited from Ordnance Survey © Crown Copyright 100019209



agreenhalgh@pellings.co.uk





(c) Crown Copyright and database rights 2012 Ordnance Survey 100019345 Date: 23/10/13 Scale: 1:1083 Map Centre: 541923.8,193163.7 Data updated: 16/08/13 Clean Water Plan A4

Based on the Ordnance Survey Map with the sanction of the Controller of the H.M. Stationary Office License Number:- 100019345. This map is to be used for the purposes of viewing the location of Thames Water plant only. Any other uses of the map data or further copies are not permitted. The position of the apparatus shown on this plan is given without obligation and warranty, and the accuracy cannot be guaranteed. This information is valid for the date printed. Service pipes are not shown but their presence should be anticipated. No liability of any kind whatsoever is accepted by Thames Water for any error or omission. The actual position of mains and services must be verified on site before any works are undertaken.

Water Main		Meter	
Private Water		Valve	
Proposed Water		Hydrant	
Abandoned Asset		End Item	

agreenhalgh@pellings.co.uk

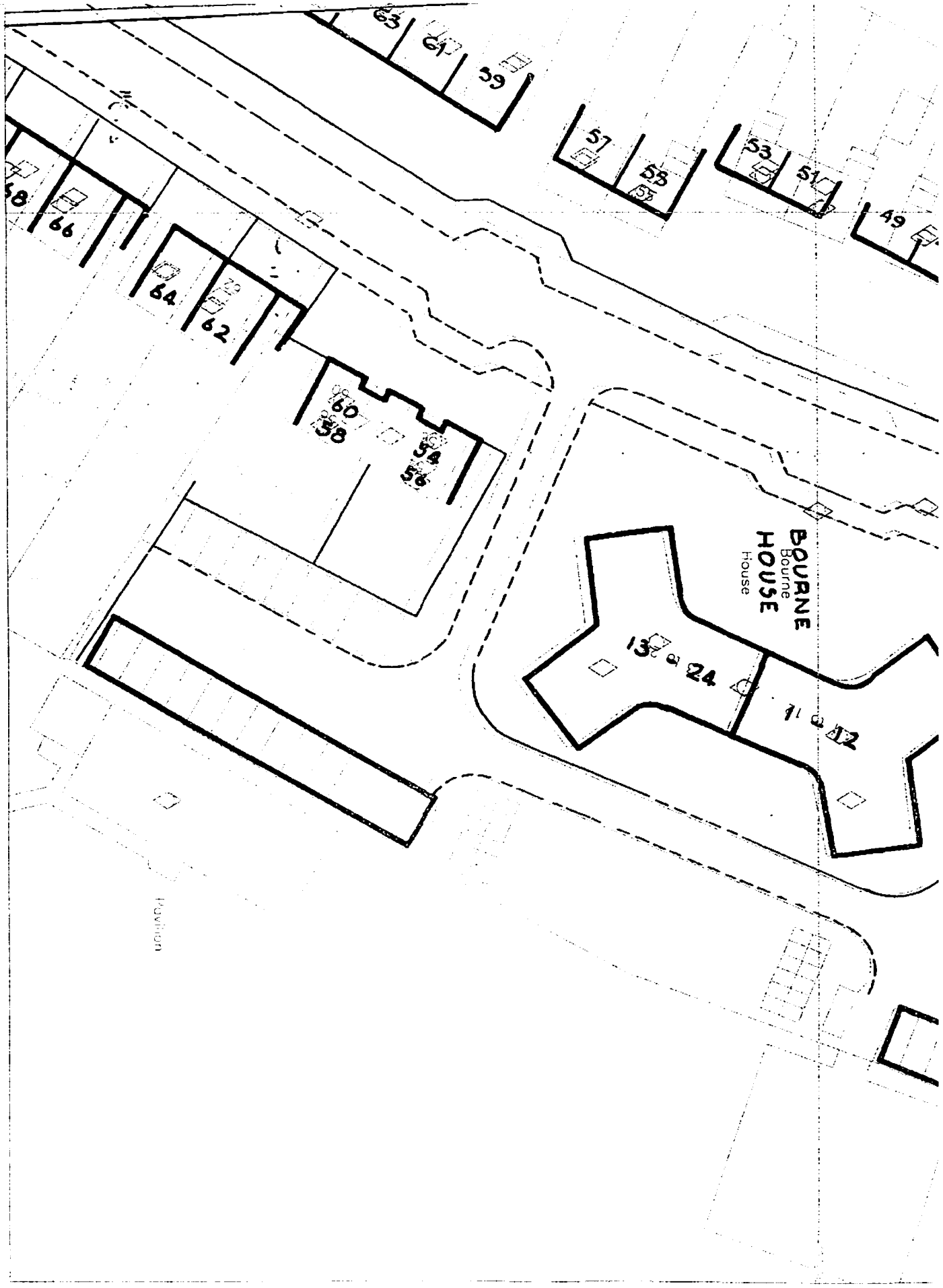




agreenhalgh@pellings.co.uk

	Foul Sewer
	Surface Sewer
	Combined Sewer
	Abandoned Sewer
	Pressure Main
	Private Asset (Colour denotes effluent type)
	Proposed Asset (Colour denotes effluent type)
	Foul Manhole
	Surface Manhole
	Combined Manhole
	Abandoned Manhole
	Other Manhole
	End Item
	S104 Boundary

Based on the Ordnance Survey Map with the sanction of the Controller of H.M. Stationary Office License Number:- 100019345. This map is to be used for the purposes of viewing the location of Thames Water plant only. Any other uses of the map data or further copies are not permitted. The position of the apparatus shown on this plan is given without obligation and warranty, and the accuracy cannot be guaranteed. This information is valid for the date printed. Service pipes are not shown but their presence should be anticipated. No liability of any kind whatsoever is accepted by Thames Water for any error or omission. The actual position of mains and services must be verified on site before any works are undertaken.



1. UK Power Networks does not warrant that the information provided to you is correct. You rely upon it at your own risk.
2. UK Power Networks does not exclude or limit its liability if it causes the death of any person or causes personal injury to a person where such death or personal

ADVICE TO CONTRACTORS ON AVOIDING DANGER FROM BURIED ELECTRICITY CABLES.

1) Do have cable drawings with you on site and check them before you start the

Appendix E

Information on Possible Contamination

Information on possible contamination has been forwarded by Epping Forest District Council by way of email of 22nd May 2013, giving information on potential contamination across all the primary sites.

This clarifies possible ground contamination derived from asbestos, made ground, hydrocarbons, petroleum hydrocarbons and the like.

It is likely that any Planning Consent will carry a Condition that all contamination issues are to be remediated.

Accordingly, we recommend that initial site investigation is undertaken for all sites that move forward to Planning Applications.

Appendix F

Cost Build-up

Indicative Estimate of Cost
for East Thames HA

28 November 2013

Gross Internal floor area	m2	ft2
Affordable Flat Units	0	0
Allowance for communal space @ 20%	0	0
Affordable House Units	186	2,002
TOTAL GIA	186	2,002

Item	Element	Qty Unit	Rate £/unit	Total £
1.0 Demolition				
1.1	Demolition	299 m ²	50	14,972
2.2	Site clearance	345 m ²	10	3,451
1.2	Allowance for removal of asbestos	25 No	800	20,000
	Sub-total		say	40,000
2.0 Affordable Flat units (xx nr. units)				
2.1	Flats Private areas	0 m ²	1,350	0
2.2	Flats communal areas (20% allowed)	0 m ²	900	0
	Sub-total		say	0
3.0 Affordable House units (02 nr. units)				
3.1	House areas	186 m ²	1,250	233,000
	Sub-total		say	230,000
4.0 Abnormals / E/o and External Works				
4.1	Private gardens (incl. fencing)	254 m ²	40	10,000
4.2	Communal Gardens	83 m ²	30	2,000
4.3	Access road, parking and turning	200 m ²	65	13,000
4.4	Pedestrian paving	0 m ²	50	Incl.
4.5	Cross over / highways adaptations	4 item	2,000	8,000
4.6	Allowance for contaminated ground	0 item		Excl.
4.7	Boundary treatment (fencing/walls)	107 m	160	17,000
4.8	Allowance for achieving CfSh Level 3	2 nr	4,500	9,000
	Sub-total		say	60,000
		£/m2	£/ft2	
	INDICATIVE CONSTRUCTION COST			330,000
	CONTINGENCY @ 5%			20,000
	CONTRACTORS DESIGN FEES @ 8%			28,000
	PRELIMS AND OVERHEADS AT 15%			49,500
	TOTAL INDICATIVE CONSTRUCTION COST	2,298		427,500

Clarifications and Assumptions

Estimate based on Pellings Feasibility drawings and standard ETG specifications

GIA is approximate due to early stage of design

Costs are based on a Q3 2014 start on site

Costs are based on a Single Stage Competitive D&B procurement route

Costs are based on a Contractor 'best programme' contract period

All units assumed to achieve Code for sustainable Homes Level 3

It is assumed that a traditional construction (concrete strip foundations, brick/block walls, timber floor structure, sloped tiled roofs) will be used

Contractors design fees are based upon appointment with planning consent under JCT D&B contract

Assumed no Party Wall or Rights of Lights issues

Exclusions

Clients professional fees (including statutory fees)

VAT

Hazardous material removal

Excludes any off-site works

Provision of loose fittings and furnishings

Costs of compliance of any conditions imposed by TFL or other statutory bodies

Costs of Section 106, S108, S278 Agreement(s) or Community Infrastructure Levy charges

East Thames Housing / Epping Forest District Council
Housing Delivery Programme

Feasibility Report

Site: Garages 1-19 Pentlow Way, Buckhurst Hill IG9 6BZ

Rev: A

Ref: IJC/srs/612.023
Date: September 2014

Contents

1. Introduction and Confirmation of Brief
2. Existing Site and Surroundings
3. Proposals
4. Planning Issues and Risks
5. Impact/Implications of Statutory Services
6. Site Access and Buildability Issues
7. Neighbourly Matters and Party Walls
8. Proposed Procurement Route
9. Impact on Parking
10. Legals
11. Costs
12. Recommendations and Conclusions

Appendices

- A: Development Proposals – Drawings 612.023.P2-5A
- B: Site Photographs
- C: Existing Site Plan 201206014-D
- D: Statutory Services Information
- E: Information on Possible Contamination
- F: Cost Build-up

1.0 Introduction and Confirmation of Brief

- 1.1. Pellings LLP are appointed as part of East Thames Group Technical Team in respect of delivery of Development Agent services to Epping Forest District Council for a six year housing delivery programme.
- 1.2. Following initial appraisal by EFDC, 59 sites have been identified as having possible development potential, with a further number of sites in reserve.
- 1.3. Pellings LLP have been instructed to progress feasibility studies to all 59 sites and which will assist in establishing the extent and timing of the overall programme.
- 1.4. Our instructions are in accordance with our fee tender of 13 August 2012, against the previously prepared tender documentation, and email confirmation of 9 April 2013.

2.0 Existing Site and Surroundings

- 2.1. The site is located on the eastern side of Buckhurst Hill in a residential area comprising houses and flats approximately 500m north of Buckhurst Hill station.
- 2.2. The site consists of 10 garages and hardstanding and it is accessed by way of a 4m wide vehicular access on Pentlow Way. The site adjoins residential plots on two sides (a semi-detached house with garden and three storey flats with communal parking) and there is a green walk to the rear. The area in general is residential with two storey houses and three storey flats of various styles. There is a small shopping parade 30m to the west.
- 2.3. There are a number of services difficulties on the site as outlined in Section 5.0 below.

3.0 Proposals

- 3.1. Read in conjunction with drawings 612.023.P2-5A attached at Appendix A.
- 3.2. The proposals are :

Erection of a two storey building comprising 4 x 1 bed flats
Provision of 16 parking spaces and communal amenity area. Please note that proposed parking makes use of some of the grass verge area in front of the existing accommodation.

4.0 Planning Issues and Risks

Relevant Planning Policies/Considerations

- 4.1. The adopted Development Plan for Epping Forest District Council is the Combined Local Plan 1998 and Local Plan Alterations 2006.
- 4.2. The site is not located in a Conservation Area and it is not designated for any particular purposes in the Epping Forest District Council Combined Local Plan 1998 and Local Plan Alterations 2006. The site does not lie in a Flood Zone on the Environment Agency Flood Map.

- 4.3. There are no specific policies which prevent the loss of existing garages although policy ST4 (Road Safety) states that planning permission will only be granted where there will be no adverse effects on the highway, traffic congestion or harm to the character or appearance of the area. Parking spaces to meet with the Council's standards are proposed for the new dwellings.
- 4.4. It will be necessary to undertake a Parking Survey and to prepare a Transport Statement to demonstrate that the loss of the garages and proposed development would not cause any parking shortfalls or harm to highway conditions or the amenities of the area.
- 4.5. The site is located in the settlement of Buckhurst Hill and the proposal would be consistent with policy CP7 which encourages the efficient use of existing built-up areas by the 'recycling of vacant, derelict, degraded and under-used land to accommodate the development' and the 're-use of urban sites, which are no longer appropriate to their existing or proposed use in the foreseeable future, for alternative land uses'.
- 4.6. The proposal would comply with policy H4A which states the need for a range of dwellings, including an appropriate proportion of smaller dwellings, to meet identified housing need on a site-by-site basis.
- 4.7. The development of small family homes with rear gardens and private and communal parking would be in keeping with the character and appearance of the area and may comply with Epping Forest's design policies and guidance.

5.0 **Impact/Implications of Statutory Services**

- 5.1. We have undertaken statutory services enquiries to the following:
- Southern Gas
 - Cable and Wireless
 - Virgin Media
 - Thames Water
 - BT
 - National Grid
 - Scottish and Southern Energy
 - Environment Agency
 - UK Power Networks
- 5.2. Responses received to date are from the Environment Agency, National Grid, UK Power Networks, Virgin Media and Thames Water.
- 5.3. The Environment Agency have pointed out the existence of an underground culvert which crosses the site (see Thames Water response below).
- 5.3.1. National Grid: There are cables which cross under the site, serving the electricity sub-station on the site, this is located on drawing 612.023/P2-5A
- 5.3.2. UK Power Networks: There are cables which cross under the site, serving the electricity sub-station on the site.
- 5.3.3. Virgin Media: No apparatus appears to cross the site
- 5.4. Thames Water: Plans indicate that a substantial foul sewer crosses the site , close to its entrance

5.5. It should be noted there are a number of responses to enquiries that, at time of preparation of this report, have not yet been received.

6.0 **Site Access and Buildability Issues**

6.1. The site is accessed from existing site roads and there would not appear to be any particular difficulties for the normal level and size of construction traffic associated with a development of this nature.

6.2. Areas should be available for contractor's site set up and accommodation.

6.3. The site is within a primarily residential area, with also some retail elements nearby and, accordingly, any appointed contractor should use all best endeavours to act in a considerate manner and within normal working hours.

6.4. Further to initial enquiries made to EFDC, some potential contamination issues have been highlighted with use of the domestic garages, and also a former horticultural nursery. Possible contaminants in respect of the former use as a nursery are summarised and indicated within the note produced by EFDC Planning and Economic Development Directorate at Appendix E.

6.5. Possible contaminants in respect of the previous use of the garage site may include asbestos, ash and clinker, hydro-carbons from vehicle maintenance and the like.

6.6. Accordingly, suitable site investigation will need to be undertaken ahead of any proposals to take this site forward and specific recommendations made to deal with any contamination found, whether by capping or removal from site.

7.0 **Neighbourly Matters and Party Walls**

7.1. As above, the proposed development site is within a primarily residential area and the appointed contractor should act in a considerate manner. It is proposed that restrictions on working hours, noise levels, requirement for resident liaison and similar matters will be included within contract documentation.

7.2. From proposals on Drawing 612.023/P2-5A, Party Wall matters will be relevant to development, particularly adjacent to 25/29 Pentlow Way.

7.3. Confirmation of ownership will be required in due course.

7.4. Such Party Wall matters may be undertaken ahead of the build contract by direct appointment by EFDC, or included as a requirement for the contractor to deal with within the build contract. This later approach, however, would carry increased risk to programme and cost.

8.0 **Proposed Procurement Route**

8.1. It is understood that development works will be procured by way of the East Thames Housing Group existing contractor framework arrangements.

8.2. It is proposed that works shall be procured on a Design and Build basis with the contractors taking forward RIBA Stage D planning consent drawings into detailed design and construction delivery on site.

- 8.3. Schemes shall be designed to a set of Employer's Requirements to be subsequently confirmed but which substantially shall be formed from existing East Thames Housing Group Design Standards and Employer's Requirement documentation.
- 8.4. It is proposed that all site preparation works will be included within individual contract packages including any required demolitions, adjustment of statutory services, highways works and boundary maintenance/reinstatement/provision.
- 8.5. On completion of the feasibility studies for the whole programme, further recommendations will be made in terms of how works are packaged to ensure size of work packages are optimised for ensuring maximum economies for East Thames Housing Group and EFDC.
- 8.6. It is considered, at this stage, that this may be by way of a mix of different sized contractors dependent upon the numbers and geographical location of individual works packages.
- 8.7. Works will be administered by Pellings LLP as Employer's Agent acting in accordance with East Thames Housing Group terms of appointment and the overarching requirements of the Development Agency agreement.

9.0 **Impact on Parking**

- 9.1. The Council's currently adopted parking standards are contained within Essex County Council's Parking Standards Design and Good Practice Guide – September 2009. These revised standards were adopted by the Council as statutory planning guidance in February 2012.
- 9.2. Flats and houses have the same parking standard as follows:
- 1 bedroom accommodation – 1 space per dwelling
 - 2 bedroom accommodation and above – 2 spaces per dwelling
 - Visitor parking – 0.25 spaces per dwelling (rounded up to the nearest whole number)
- 9.3. The proposals would appear to more than meet the Council's parking standards for new development.
- 9.4. However, should the site move forward to planning application stages, it is recommended that a Transport Statement be undertaken, including parking surveys, to demonstrate that the loss of the garages will not give rise to any planning or highway problems.
- 9.5. As highlighted above, the proposals add parking on areas of existing grassed verge. We have taken the opportunity of adding parking provision over the level of parking needed to meet Planning standards, and to improve the parking provision in the area as a whole.

10.0 **Legals**

- 10.1. We have been provided with a Summary Report of legal matters from EFDC Solicitors. The report makes reference to the suggested appropriation of land for planning purposes which would extinguish any prior rights of way.

- 10.2. The report makes reference to possible rights of light risk. A blanket policy against such risk might be considered.
- 10.3. Proposals include development of an area that is currently given over to drying/bin storage and these would need to be relocated. There is reference that the leases give access to leaseholders to this area but we assume that these can be adjusted to facilitate access to any revised drying/bin compound area.
- 10.4. The existing substation is unaffected by proposals although an alteration maybe required to UKPN access easement.
- 11.0 **Costs**
- 11.1. It is considered that a budget of £525,900.00 should be allowed for this scheme, inclusive of contractor design fees, but exclusive of professional fees and VAT. Please refer to Appendix F.
- 12.0 **Recommendations and Conclusions**
- 12.1. Subject to an overall lifetime cost appraisal, we conclude that the site appears to have economic development opportunities and we recommend is considered for taking forward to planning application stage, with a view to incorporating into the overall programme.

Signed:


.....
Pellings LLP

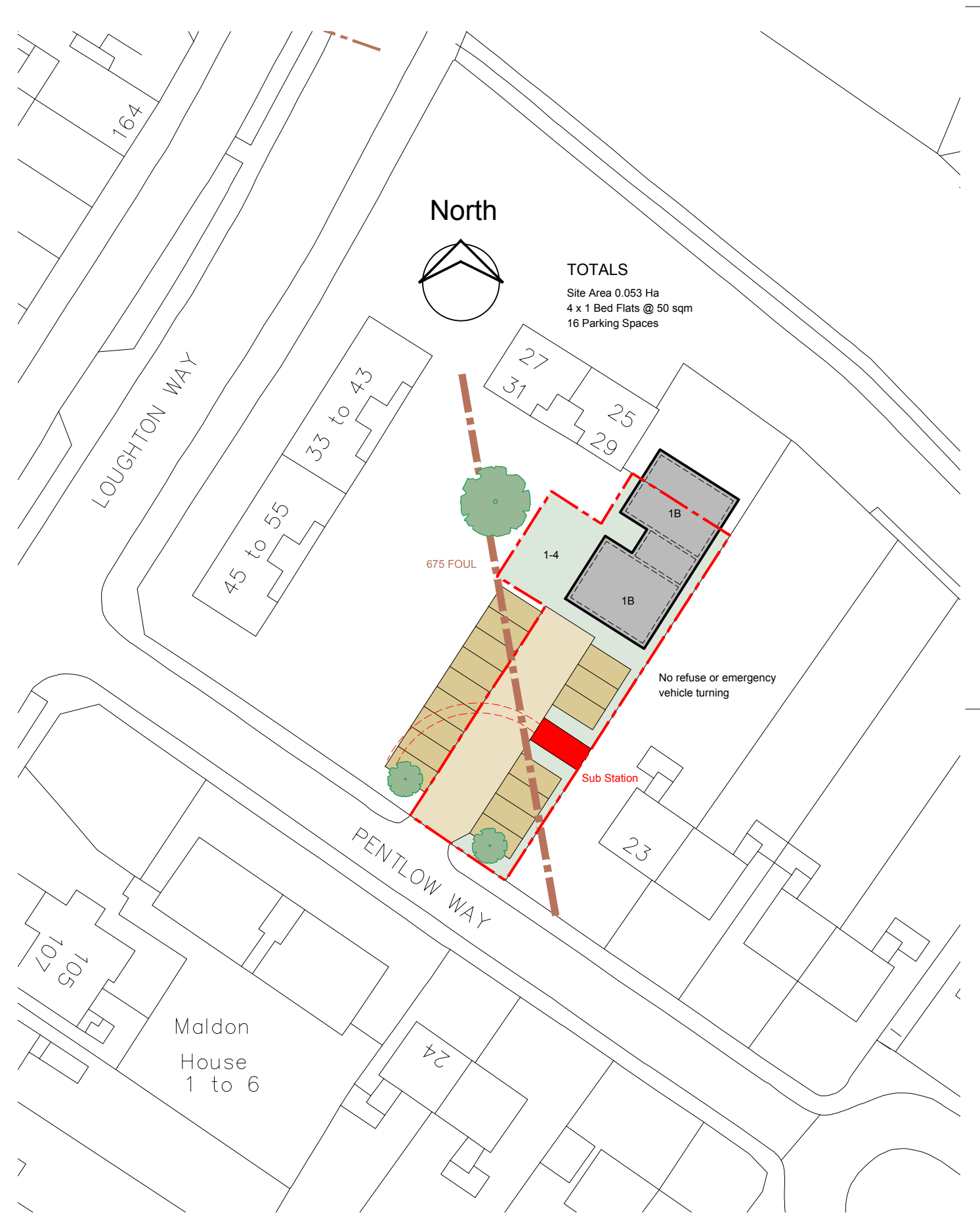
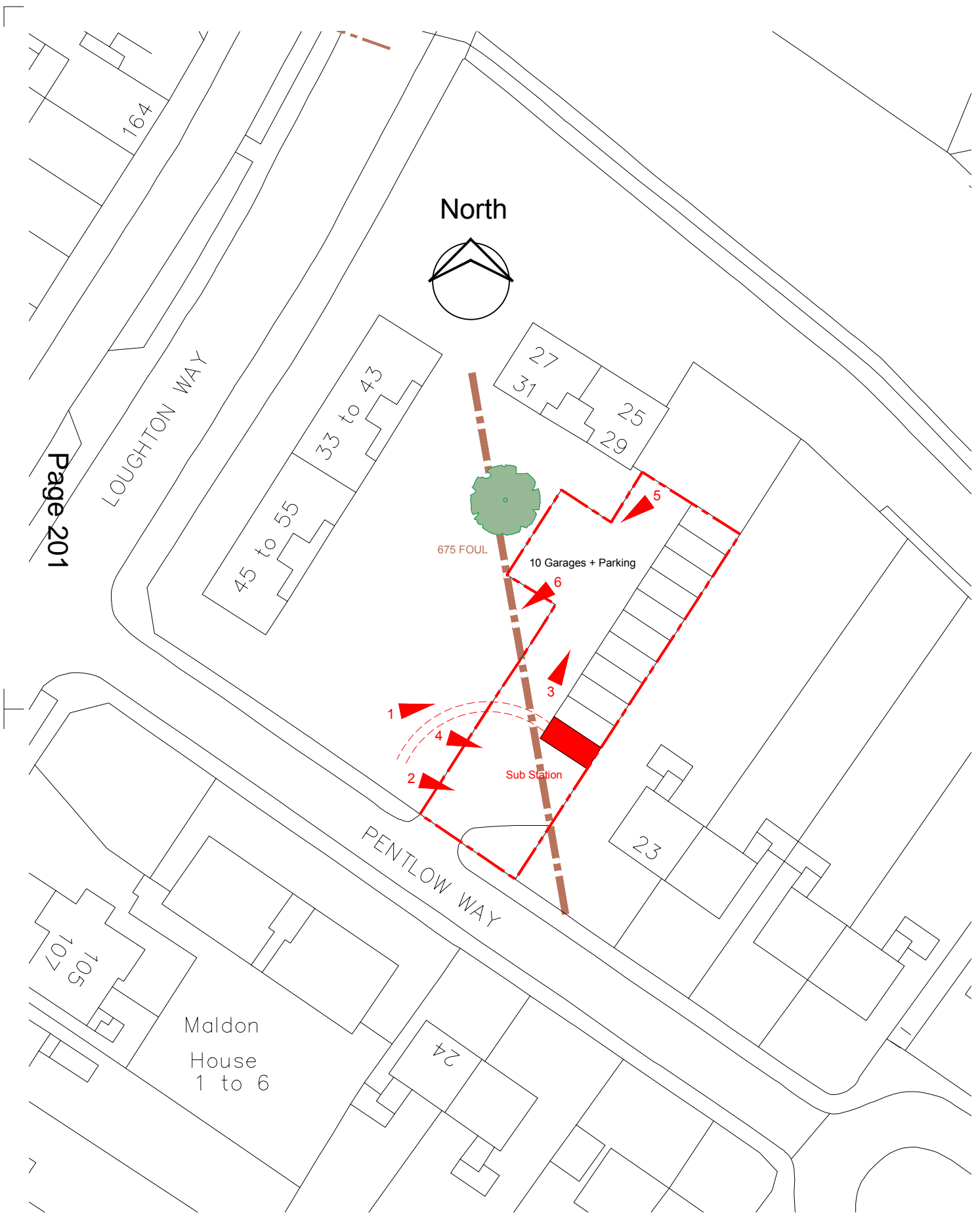
Date:

1st October 2014
.....

Appendix A

Development Proposals

Drawings 612.023.P2-5A



TOTALS
 Site Area 0.053 Ha
 4 x 1 Bed Flats @ 50 sqm
 16 Parking Spaces

NOTES:
 Report all discrepancies, errors and omissions
 Do not scale from this drawing.
 Verify all dimensions on site before commencing any work or preparing shop drawings.
 All materials, components and workmanship are to comply with all the relevant British Standards, Codes of Practice, and appropriate manufacturers recommendations that from time to time shall apply.
 For all specialist work, see relevant drawings.

PRELIMINARY

Rev	Date	Description	Name
-	-/-/-		



Pellings LLP 24 Widmore Road Bromley Kent BR1 1RY t 020 8460 9114 f 020 8313 0019 e bromley@pellings.co.uk www.pellings.co.uk		Architecture & Planning ■ Building Surveying ■ Project Management ■ Cost Consultancy ■ CDM Co-ordination			
CLIENT	East Thames HA	PROJECT	EFDC House Building Programme		
TITLE	Existing and Proposed Plans Pentlow Way	DATE	NOV 2013	SCALE	1:500 @A3
		DRAWN	NP	CHK	
DRAWING No		612 023 P2-5		A	

Appendix B

Site Photographs

Appendix B - Site Photographs

1.



2.



3.



4.



5.

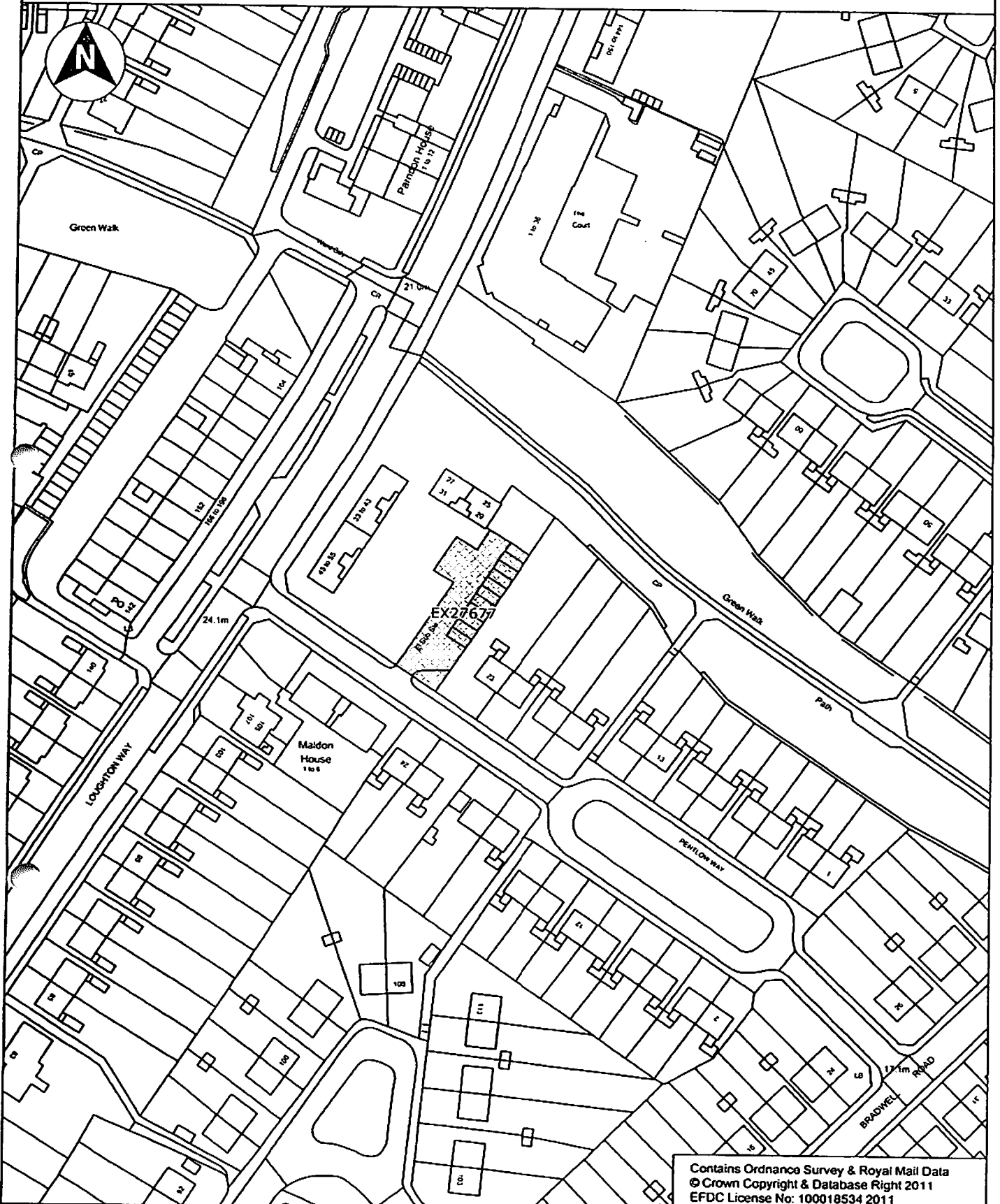


6.



Appendix C

Existing Site Plan



Directorate of Environment & Street Scene
 Civic Offices
 High Street
 Epping, Essex,
 CM16 4BZ
 Tel. 01992 564000

Project
 Potential Site for Council House
 Building Program

Drawing No.
 201206014 - d

Content
 Pentlow Way
 Buckhurst Hill

Date
 04/07/12

Scale
 1:1250 @ A4

Drawn By
 Robert Irwin

Appendix D

Statutory Services Information

Adam Greenhalgh
Pellings
24 Widmore Road
Bromley
Kent
BR1 1RY

National Grid Electricity Emergency Number:
0800 40 40 90*

National Gas Emergency Number:
0800 111 999*

* Available 24 hours, 7 days/week.
Calls may be recorded and monitored.

www.nationalgrid.com

Date: 24/10/2013
Our Ref: NL_TE_Z6_3SW_042144
Your Ref: PENTLOW WAY

RE: Proposed Works, IG9 6BZ,pentlow way,buckhurst hill,essex

Thank you for your enquiry which was received on 17/10/2013.

Please note this response and any attached map(s) are valid for 28 days.

An assessment has been carried out with respect to National Grid Electricity Transmission plc's and National Grid Gas plc's apparatus. Please note it does not cover the items listed in the section "Your Responsibilities and Obligations", including gas service pipes and related apparatus.

For details of National Grid's network areas please see the National Grid website (<http://www.nationalgrid.com/uk/Gas/Safety/work/>) or the enclosed documentation.

As your works are at a "proposed" stage, any maps and guidance provided are for information purposes only. This is not approval to commence work. You must submit a "Scheduled Works" enquiry at the earliest opportunity and failure to do this may lead to disruption to your plans and works. National Grid will endeavour to provide an initial assessment within 14 days of receipt of a Scheduled Works enquiry and dependent on the outcome of this, further consultation may be required.

In any event, for safety and legal reasons, works must not be carried out until a Scheduled Works enquiry has been completed and final response received.

Your Responsibilities and Obligations

The "Assessment" Section below outlines the detailed requirements that must be followed when planning or undertaking your scheduled activities at this location.

It is your responsibility to ensure that the information you have submitted is accurate and that all relevant documents including links are provided to all persons (either direct labour or contractors) working for you near National Grid's apparatus, e.g. as contained within the Construction (Design and Management) Regulations.

This assessment solely relates to National Grid Electricity Transmission plc (NGET) and National Grid Gas plc (NGG) apparatus. This assessment does **NOT** include:

- National Grid's legal interest (easements or wayleaves) in the land which restricts activity in proximity to National Grid's assets in private land. You must obtain details of any such restrictions from the landowner in the first instance and if in doubt contact National Grid.
- Gas service pipes and related apparatus
- Recently installed apparatus
- Apparatus owned by other organisations, e.g. other gas distribution operators, local electricity companies, other utilities, etc.

It is **YOUR** responsibility to take into account whether the items listed above may be present and if they could be affected by your proposed activities. Further "Essential Guidance" in respect of these items can be found on the National Grid Website (<http://www.nationalgrid.com/NR/rdonlyres/6D6525F9-59EB-4825-BA89-DBD7E68882C7/51319/EssentialGuidance.pdf>).

This communication does not constitute any formal agreement or consent for any proposed development work; either generally or with regard to National Grid's easements or wayleaves nor any planning or building regulations applications.

NGG and NGET or their agents, servants or contractors do not accept any liability for any losses arising under or in connection with this information. This limit on liability applies to all and any claims in contract, tort (including negligence), misrepresentation (excluding fraudulent misrepresentation), breach of statutory duty or otherwise. This limit on liability does not exclude or restrict liability where prohibited by the law nor does it supersede the express terms of any related agreements.

If you require further assistance please contact the National Grid Plant Protection team via e-mail ([click here](#)) or via the contact details at the top of this response.

Yours faithfully

National Grid Plant Protection Team

ASSESSMENT

Affected Apparatus

The National Grid apparatus that has been identified as being in the vicinity of your proposed works is:

- High or Intermediate pressure (above 2 bar) Gas Pipelines and associated equipment
- Low or Medium pressure (below 2 bar) gas pipes and associated equipment. (As a result it is highly likely that there are gas services and associated apparatus in the vicinity)

Requirements

BEFORE carrying out any work you must:

- Carefully read these requirements including the attached guidance documents and maps showing the location of National Grid apparatus.
- Contact the landowner and ensure any proposed works in private land do not infringe National Grid's legal rights (i.e. easements or wayleaves). If the works are in the road or footpath the relevant local authority should be contacted.
- Ensure that all persons, including direct labour and contractors, working for you on or near National Grid's apparatus follow the requirements of the HSE Guidance Notes HSG47 - 'Avoiding Danger from Underground Services' and GS6 - 'Avoidance of danger from overhead electric power lines'. This guidance can be downloaded free of charge at <http://www.hse.gov.uk>
- In line with the above guidance, verify and establish the actual position of mains, pipes, cables, services and other apparatus on site before any activities are undertaken.

GUIDANCE

High Pressure Gas Pipelines Guidance:

If working in the vicinity of a high pressure gas pipeline the following document must be followed: 'Specification for Safe Working in the Vicinity of National Grid High Pressure Gas Pipelines and Associated Installations - Requirements for Third Parties' (SSW22). This can be obtained from:
http://www.nationalgrid.com/NR/rdonlyres/50ACAC0A-ED26-41A7-91FA-83163A98270F/23790/TSPSSW22_J537_Rev0807.pdf

Excavating Safely - Avoiding injury when working near gas pipes:

http://www.nationalgrid.com/NR/rdonlyres/2D2EEA97-B213-459C-9A26-18361C6E0B0D/25249/Digsafe_leaflet3e2finalamends061207.pdf

Standard Guidance

Essential Guidance document:

<http://www.nationalgrid.com/NR/rdonlyres/6D6525F9-59EB-4825-BA89-DBD7E68882C7/51319/EssentialGuidance.pdf>

General Guidance document:

<http://www.nationalgrid.com/NR/rdonlyres/55C13C4D-A1AA-4B13-BFDA-1CF59F88B326/51318/GeneralGuidance.pdf>

Excavating Safely in the vicinity of gas pipes guidance (Credit card):

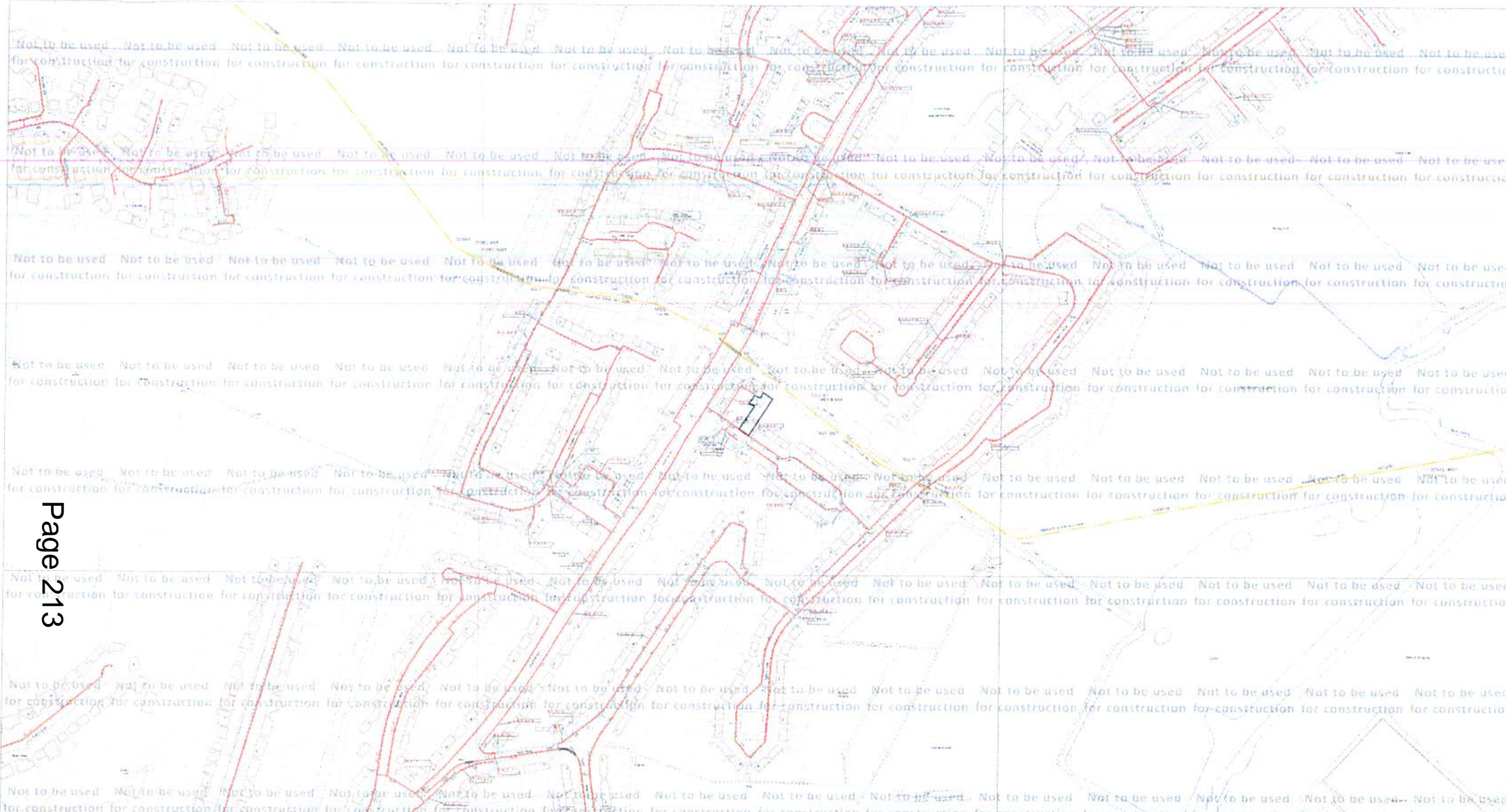
<http://www.nationalgrid.com/NR/rdonlyres/A3D37677-6641-476C-9DDA-E89949052829/44257/ExcavatingSafelyCreditCard.pdf>

Excavating Safely in the vicinity of electricity cables guidance (Credit card):













<http://www.nationalgrid.com/NR/rdonlyres/35DDEC6D-D754-4BA5-AF3C-D607D05A25C2/44858/ExcavatingSafelyCreditCardelectricitycables.pdf>

Copies of all the Guidance Documents can also be downloaded from the National Grid Website:

<http://www.nationalgrid.com/uk/Gas/Safety/work/downloads/>



Page 213

ID: NL_TE_Z6_3SW_042144		View extent: 1445m, 785m		Map not to be used for construction		Map 1 of 1 (GAS)	
USER: roy.x.jones		LP MAINS  MP MAINS  IP MAINS  LHP MAINS  NHP MAINS 		This plan shows those pipes owned by National Grid Gas plc in its role as a Licensed Gas Transporter (GT). Gas pipes owned by other GTs, or otherwise privately owned, may be present in this area. Information with regard to such pipes should be obtained from the relevant owners. The information shown on this plan is given without warranty, the accuracy thereof cannot be guaranteed. Service pipes, valves, syphons, stub connections, etc., are not shown but their presence should be anticipated. No liability of any kind whatsoever is accepted by National Grid Gas plc or their agents, servants or contractors for any error or omission. Safe digging practices, in accordance with HS(G)47, must be used to verify and establish the actual position of mains, pipes, services and other apparatus on site before any mechanical plant is used. It is your responsibility to ensure that this information is provided to all persons (either direct labour or contractors) working for you on or near gas apparatus. The information included on this plan should not be referred to beyond a period of 28 days from the date of issue.		MAPS Plot Server Version 1.7.6 	
DATE: 24/10/2013		 Approximate scale 1:5000 on A4 Colour Landscape		Requested by: Pellings This plan is reproduced from or based on the OS map by National Grid Gas plc, with the sanction of the controller of HM Stationery Office. Crown Copyright Reserved. Ordnance Survey Licence number 100024886			
DATA DATE: 15/10/2013							
REF: PENTLOW WAY		    					
MAP REF: TQ4294							
CENTRE: 542265, 194655							

Adam Greenhalgh

From: Trevor Baker <tjbaker@eppingforestdc.gov.uk>
Sent: 08 November 2013 14:15
To: Adam Greenhalgh
Cc: Lee Savill; John Hayes; Matt Little
Subject: FW: OS Extracts - Pentlow Way/Loughton Way, Loughton
Attachments: 119023 (2).pdf; CANONB08A3B_LDAPMAIL_11062013-144839.pdf; Public Sewer extracts.pdf

Dear Mr Greenhalgh

Thank you for your email of yesterday concerning the potential development of the above sites.

The EA are partially correct in their statement, and I enclose for your perusal extracts from Thames Waters Public Sewer Records.

The 750/825mm diameter "drains" running west to east on the northern edges of both sites, are on the face of it culverted watercourses and given that on the whole they run under Epping Forest District Council land they would be the responsibility of this organisation. However, if there were circumstances that dictated a more in-depth analysis of their status, as the drains effectively operate as public surface water sewers taking all manner of surface and highway water run off, this team on behalf of EFDC would potentially challenge Thames' designation that they are "private" assets. However, in the short term and for your purposes they would be designated as assets under the control of this team on behalf of EFDC's Housing directorate.

Notwithstanding the above, for the Loughton Way site the drain is at the northern edge of the site and within the "green corridor" that I doubt would be subject to above ground development anyway.

For Pentlow Way, the drain is well away from the sites northern boundary and would not be directly affected. What is of more importance for this location is the indicated presence of a 675mm diameter public foul water sewer running diagonally across the site at a depth of approx 2.3m to invert. Should any development be proposed over the line of the sewer then Thames Water must be consulted and advice sought.

I trust the above is self-explanatory, but should you require any further assistance, please feel free to contact this team again

Kind regards

Trevor Baker
Land Drainage Engineer

Epping Forest District Council
Civic Offices
High Street
Epping
Essex
CM16 4BZ

P: 01992 564048 (DD)
P: 01992 564608 (Customer Services)
E: tjbaker@eppingforestdc.gov.uk

creating a better place



Adam Greenhalgh
Pellings LLP
24 Widmore Road
Bromley
Kent
BR1 1RY

Our refs: NE/2013/119023/01-L01
NE/2013/119024/01-L01

Your ref: AG/dh/612.023/05

Date: 5 November 2013

Dear Adam,

Enquiry for proposed redevelopment of two sites: *Rear of Shops, Loughton Way, Buckhurst Hill and Pentlow Way, Buckhurst Hill*

Thank you for consulting us with details of the above sites. In addition to our comments that we have already provided to you for the majority of the sites you consulted us with, these sites also appear to have a culverted watercourse running through them. These features will require additional investigations prior to any redevelopment.

As discussed above, our maps indicate that there is a culverted ordinary watercourse that runs through both of these sites. We would expect the applicant to open up any culverts running through the site where feasible, naturalise the watercourse and provide a sufficient development-free buffer zone adjacent to the newly restored watercourse. If the applicant is unable to open up the culvert, full justification should be provided and alternative mitigation or compensation should be provided. Responsibility for ordinary watercourses has now been passed to the Lead Local Flood Authority (Essex County Council in this case), who would need to agree to any proposals outlined for the watercourse.

The culverted watercourse, which runs north-west to south-east through the site, feeds directly into the River Roding. Under the Water Framework Directive, the River Roding is currently at 'poor' ecological status, with a target of achieving 'good' ecological status (gaining two descriptive classes) by a 2027 deadline. Given this, we strongly support any projects that positively enhance the River Roding or the watercourses in the Roding catchment.

As we are in an area of serious water stress, we endorse the efficient use of water resources. Residential developments such as your proposal should take advantage of water efficient technologies. This is in line with Epping Forest's local policy CP5 which states that the efficient use of water is encouraged through water efficient appliances and rainwater harvesting for example.

We suggest you use water efficiency measures and aim to achieve 105 litres/person/day. This is equivalent to level 3/4 for water within the Code for Sustainable Homes. Achieving this standard within new homes can be accomplished at very little additional cost, and is significantly cheaper than retrofitting such measures later.

Environment Agency
Apollo Court, 2 Bishops Sq Business park, Hatfield, Herts, AL10 9EX.

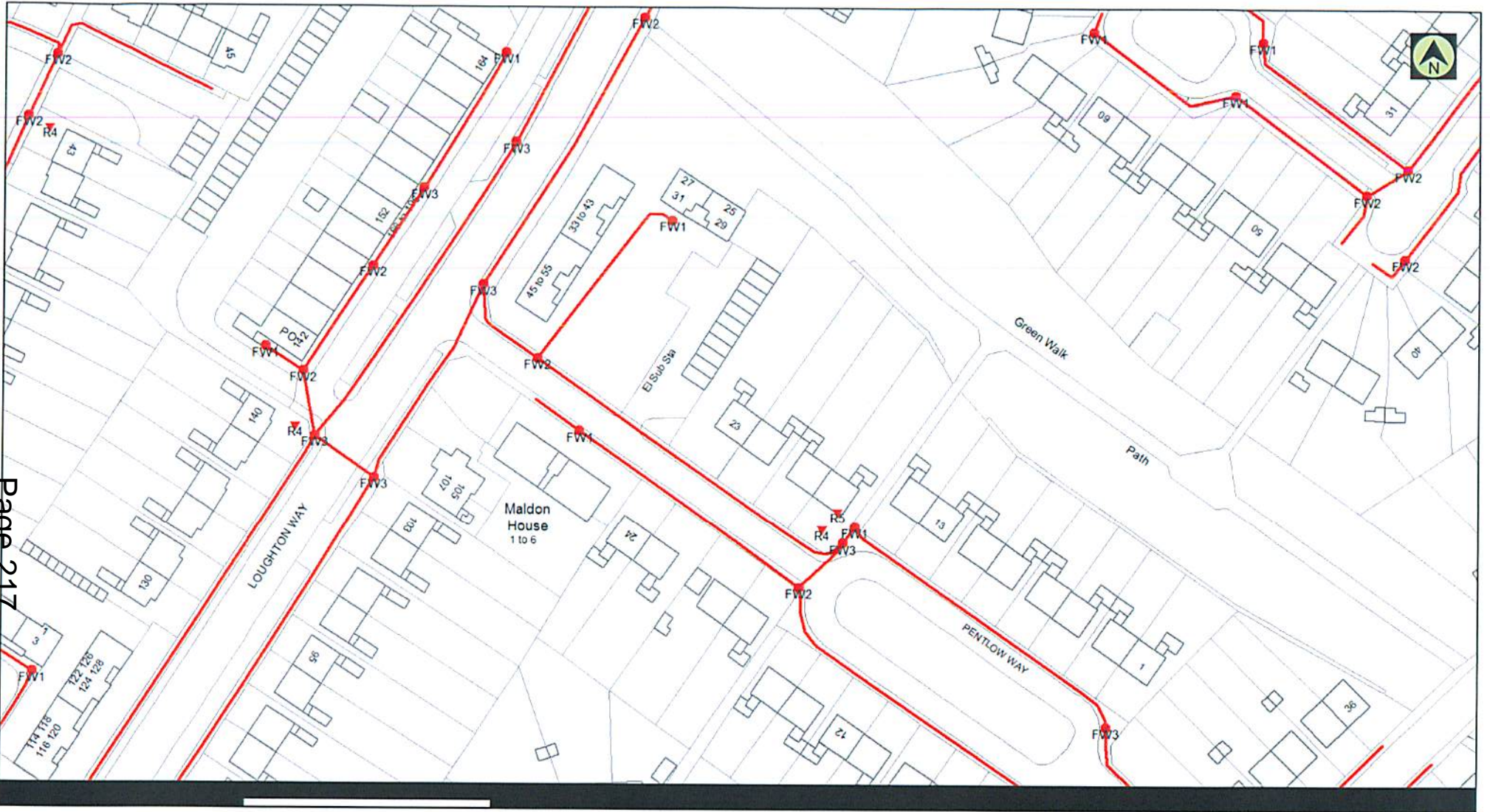
Every opportunity should be taken to maximise Sustainable Drainage Systems (SuDS) such as green roofs, ponds, swales and permeable pavements, to alleviate surface water runoff. I have previously provided you with a copy of our SuDS guidance, which contains the SuDS hierarchy, to help you with your designs. The methods at the top of the hierarchy are preferred because they are beneficial in terms of sustainability and biodiversity. The hierarchy should be used in descending order. Tanks should only be used as a last resort. Epping Forest's local policy U3B on sustainable drainage systems advocates this approach.

As both of the sites are under a hectare in Flood Zone 1, they fall within cell F5 of our Flood Risk Standing Advice consultation matrix. Epping Forest Local Planning Authority will therefore be responsible for assessing flood risk at these sites.

Yours sincerely,

Clark Gordon
Sustainable Places Planning Advisor

Direct dial 01707 632308
E-mail SPHatfield@environment-agency.gov.uk



(c) Crown Copyright and database rights 2011 Ordnance Survey 100019209

Date: 24/10/13

Scale: 1:1083

Map Centre: 542273.3,194641.7

Data updated: 25/08/13

Telecoms Plan A4

Important information - please read

The purpose of this plan is to identify Virgin Media apparatus. We have tried to make it as accurate as possible but we cannot warrant its accuracy. In addition, we caution that within Virgin Media apparatus there may be instances where mains voltage power cables have been placed inside green, rather than black ducting. Further details can be found using the Affected Postcodes pdf, which can be downloaded from this website.

Therefore, you must not rely solely on this plan if you are carrying out any excavation or other works in the vicinity of Virgin Media apparatus. The actual position of any underground service must be verified by cable detection equipment, etc. and established on site before any mechanical plant is used. Accordingly, unless it is due to the negligence of Virgin Media, its employees or agents, Virgin Media will not have any liability for any omissions or inaccuracies in the plan or for any loss or damage caused or arising from the use of and/or any reliance on this plan.

This plan is produced by Virgin Media Limited from Ordnance Survey © Crown Copyright 100019209

Duct, Trench



Chamber

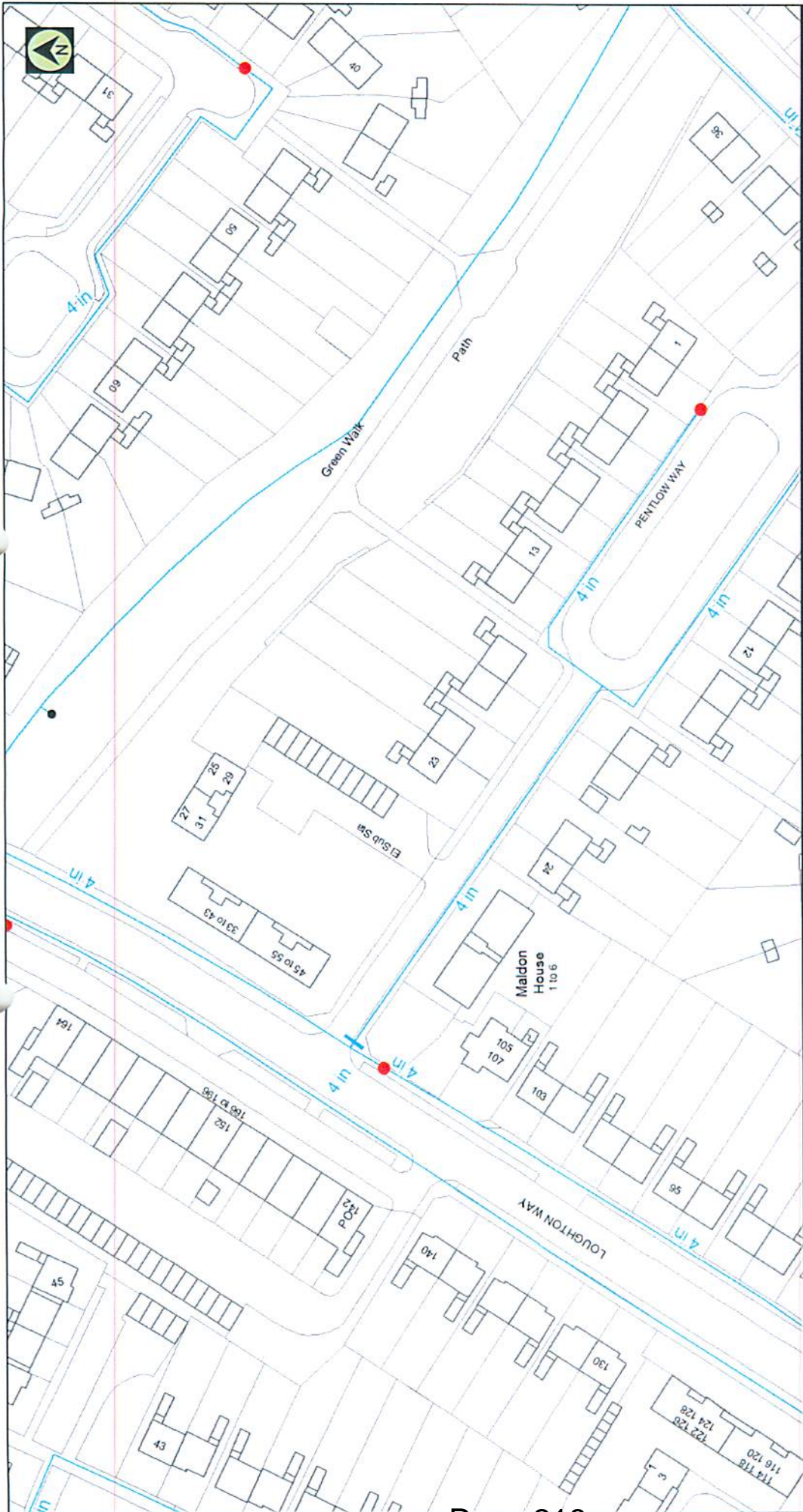


Cabinet



agreenhalgh@pellings.co.uk



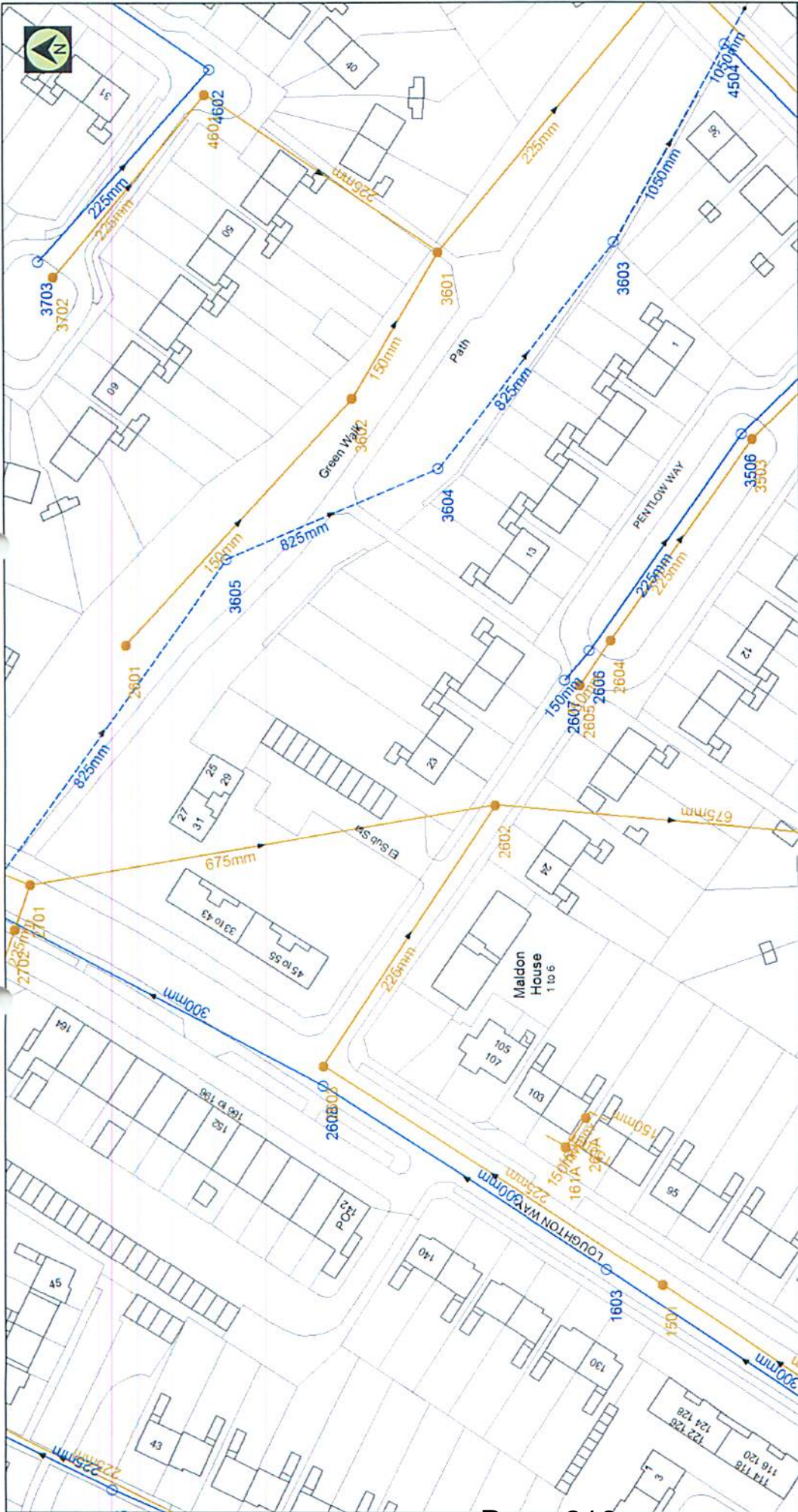


egreenhaigh@pellings.co.uk

Water Main		Meter	
Private Water		Valve	
Proposed Water		Hydrant	
Abandoned Asset		End Item	

Based on the Ordnance Survey Map with the sanction of the Controller of H.M. Stationary Office License Number:- 100019345. This map is to be used for the purposes of viewing the location of Thames Water plant only. Any other uses of the map data or further copies are not permitted. The position of the apparatus shown on this plan is given without obligation and warranty, and the accuracy cannot be guaranteed. This information is valid for the date printed. Service pipes are not shown but their presence should be anticipated. No liability of any kind whatsoever is accepted by Thames Water for any error or omission. The actual position of mains and services must be verified on site before any works are undertaken.

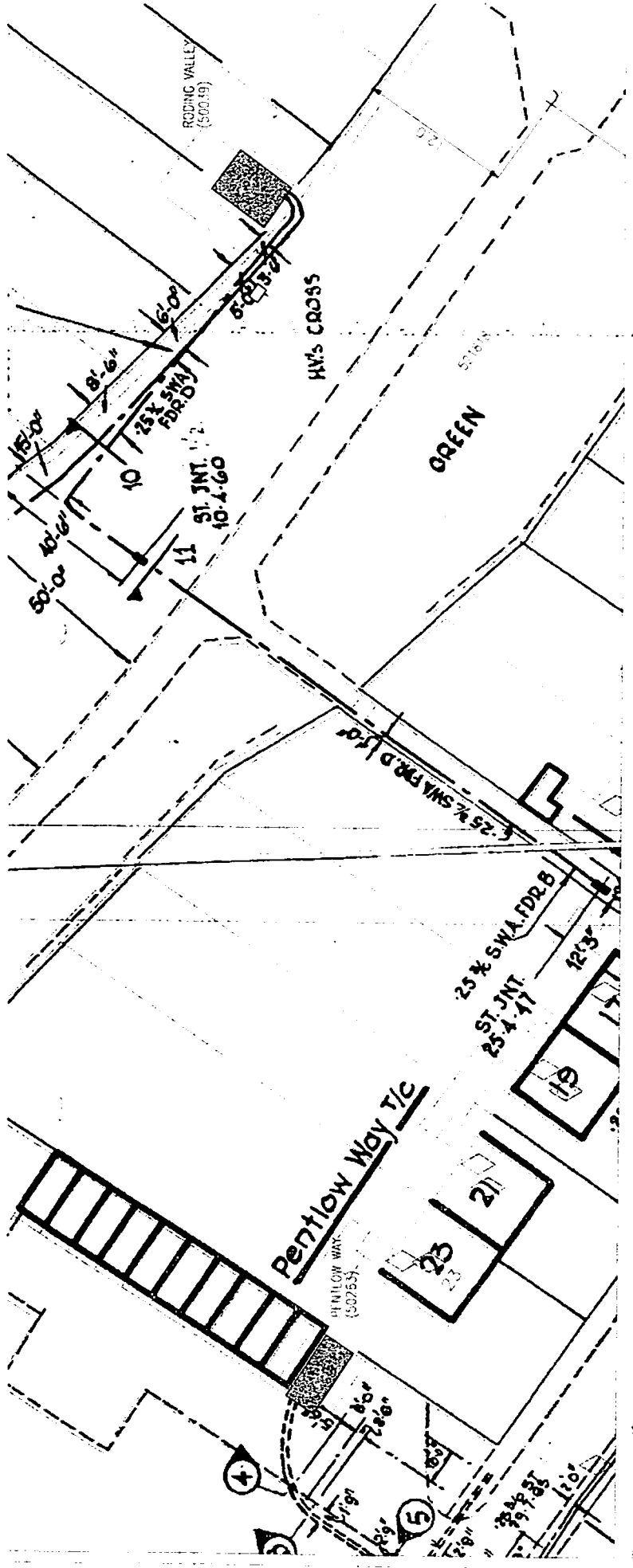




agreenhalgh@pellings.co.uk

	Foul Manhole
	Surface Manhole
	Combined Manhole
	Abandoned Manhole
	Other Manhole
	End Item
	S104 Boundary
	Foul Sewer
	Surface Sewer
	Combined Sewer
	Abandoned Sewer
	Pressure Main
	Private Asset (Color denotes asset type)
	Proposed Asset (Color denotes asset type)

Based on the Ordnance Survey Map with the sanction of the Controller of H.M. Stationary Office License Number: 100019345. This map is to be used for the purposes of viewing the location of Thames Water plant only. Any other uses of the map data or further copies are not permitted. The position of the apparatus shown on this plan is given without obligation and warranty, and the accuracy cannot be guaranteed. This information is valid for the date printed. Service pipes are not shown but their presence should be anticipated. No liability of any kind whatsoever is accepted by Thames Water for any error or omission. The actual position of mains and services must be verified on site before any works are undertaken.



PRIMARY CABLES

EXTRA HIGH VOLTAGE CABLES (EHV) 22,000 TO 132,000 V.

Depth normally 750mm cover in carriageway & 600mm cover in footway.
 Before digging within one metre of these cable routes Telephone 0800 056 5866 in order that the Company's apparatus may be any necessary protection works agreed.

N.B. THRUST BORERS OR MOLES MUST NOT BE USED WITHIN THE VICINITY OF BELONGING TO UK POWER NETWORKS WITHOUT FIRST CONTACTING THIS COMPANY

1. The position of the apparatus shown on this drawing is believed to be correct. Landmarks may have been altered since the apparatus was installed.
2. The exact position of the apparatus should be verified – use approved cat prior to excavation using suitable hand tools.
3. It is essential that trial holes are carefully made avoiding the use of mechanical picks until the exact location of all cables has been determined.
4. It must be assumed that there is a service cable into each property, lamp sign, etc.
5. All cables must be treated as being live unless proved otherwise by UK Power Networks.
6. The information provided must be given to all people working near UK Power Networks equipment. Do not use plans more than 3 months after the issue date for excavation.
7. Please be aware that electric cables/lines belonging to other owners of electricity distribution systems may be present and it is your responsibility to identify them.

Plotted On : 22/10/2013

Plotted By : Kov Singh

Plot Description : Contents of plot menu line title_line_1

Contents of plot menu line title_line_2

Map Centre : IQ4294NW

UK Power Networks
 Plan Provision
 Fore Hamlet
 IPSWICH
 Suffolk
 IP3 8WA
 Tel 0800 0565 866
 Fax 08701 963782



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Appendix E

Information on Possible Contamination

Information on possible contamination has been forwarded by Epping Forest District Council by way of email of 22nd May 2013, giving information on potential contamination across all the primary sites.

This clarifies possible ground contamination derived from asbestos, made ground, hydrocarbons, petroleum hydrocarbons and the like.

There is further possible contamination from the existing substation on the site.

It is likely that any Planning Consent will carry a Condition that all contamination issues are to be remediated.

Accordingly, we recommend that initial site investigation is undertaken for all sites that move forward to Planning Applications.

Appendix F

Cost Build-up

Gross Internal floor area	m2	ft2
Affordable Flat Units	200	2,153
Allowance for communal space @ 20%	40	431
Affordable House Units	0	0
TOTAL GIA	240	2,583

Item	Element	Qty Unit	Rate £/unit	Total £
1.0 Demolition				
1.1	Demolition	145 m ²	50	7,272
2.2	Site clearance	397 m ²	10	3,971
1.2	Allowance for removal of asbestos	10 No	800	8,000
	Sub-total		say	20,000
2.0 Affordable Flat units (04 nr. units)				
2.1	Flats Private areas	200 m ²	1,350	270,000
2.2	Flats communal areas (20% allowed)	40 m ²	900	36,000
	Sub-total		say	310,000
3.0 Affordable House units (xx nr. units)				
3.1	House areas	0 m ²	1,250	0
	Sub-total		say	0
4.0 Abnormals / E/o and External Works				
4.1	Private gardens (incl. fencing)	0 m ²	40	0
4.2	Communal Gardens	187 m ²	30	6,000
4.3	Access road, parking and turning	332 m ²	65	22,000
4.4	Pedestrian paving	0 m ²	50	Incl.
4.5	Cross over / highways adaptations	1 item	2,000	2,000
4.6	Allowance for contaminated ground	0 item		Excl.
4.7	Boundary treatment (fencing/walls)	200 m	160	32,000
4.8	Allowance for achieving CfSh Level 3	4 nr	4,500	18,000
	Sub-total		say	80,000
		£/m2	£/ft2	
	INDICATIVE CONSTRUCTION COST			410,000
	CONTINGENCY @ 5%			20,000
	CONTRACTORS DESIGN FEES @ 8%			34,400
	PRELIMS AND OVERHEADS AT 15%			61,500
	TOTAL INDICATIVE CONSTRUCTION COST	2,191		525,900

Clarifications and Assumptions

Estimate based on Pellings Feasibility drawings and standard ETG specifications

GIA is approximate due to early stage of design

Costs are based on a Q3 2014 start on site

Costs are based on a Single Stage Competitive D&B procurement route

Costs are based on a Contractor 'best programme' contract period

All units assumed to achieve Code for sustainable Homes Level 3

It is assumed that a traditional construction (concrete strip foundations, brick/block walls, timber floor structure, sloped tiled roofs) will be used

Contractors design fees are based upon appointment with planning consent under JCT D&B contract

Assumed no Party Wall or Rights of Lights issues

Exclusions

Clients professional fees (including statutory fees)

VAT

Hazardous material removal

Excludes any off-site works

Provision of loose fittings and furnishings

Costs of compliance of any conditions imposed by TFL or other statutory bodies

Costs of Section 106, S108, S278 Agreement(s) or Community Infrastructure Levy charges

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East Thames Housing / Epping Forest District Council
Housing Delivery Programme

Feasibility Report

Site: 1-24 (Garages) Loughton Way, Buckhurst Hill IG9 6AA

Rev: A

Ref: IJC/srs/612.023
Date: September 2014

Contents

1. Introduction and Confirmation of Brief
2. Existing Site and Surroundings
3. Proposals
4. Planning Issues and Risks
5. Impact/Implications of Statutory Services
6. Site Access and Buildability Issues
7. Neighbourly Matters and Party Walls
8. Proposed Procurement Route
9. Impact on Parking
10. Legals
11. Costs
12. Recommendations and Conclusions

Appendices

- A: Development Proposals – Drawings 612.023/P2-6A
- B: Site Photographs
- C: Existing Site Plan 201206014-F
- D: Statutory Services Information
- E: Information on Possible Contamination
- F: Cost Build-up

1.0 Introduction and Confirmation of Brief

- 1.1. Pellings LLP are appointed as part of East Thames Group Technical Team in respect of delivery of Development Agent services to Epping Forest District Council for a six year housing delivery programme.
- 1.2. Following initial appraisal by EFDC, 59 sites have been identified as having possible development potential, with a further number of sites in reserve.
- 1.3. Pellings LLP have been instructed to progress feasibility studies to all 59 sites and which will assist in establishing the extent and timing of the overall programme.
- 1.4. Our instructions are in accordance with our fee tender of 13 August 2012, against the previously prepared tender documentation, and email confirmation of 9 April 2013.

2.0 Existing Site and Surroundings

- 2.1. The site is located on the eastern side of Buckhurst Hill in a residential area comprising houses and flats approximately 400m north of Buckhurst Hill station.
- 2.2. The site consists of 24 garages and hardstanding and it is accessed by way of two 4m wide vehicular accesses at both ends of the site, off Loughton Way. The site adjoins residential plots and a green walk. To the west and south are two storey semi-detached and terraced houses. To the north there is the 20m wide green walk and beyond that a three storey block of flats. Immediately to the east is a three storey parade with various extensions and outbuildings and further to the east, on the other side of Loughton Way, are further three storey blocks of flats and two storey houses with gardens. There is a parade of shops within the adjoining three storey terrace 142 – 196 Loughton Way to which there are a number of points of access to the rear.
- 2.3. There are two sewers crossing the site at the North entrance.
- 2.4. There are some mature trees adjacent to the West boundary.

3.0 Proposals

- 3.1. Read in conjunction with drawings 612.023.P2-6A attached at Appendix A.
- 3.2. The proposals are :

Erection of 4No., 2 storey, 3 bedroom houses with individual gardens, soft landscaping and 11 car parking spaces.
- 3.3. Proposals maintain access to the rear of 142-196 Loughton Way and subject to agreement with the Highways Authority, a '1 way' road system could be adopted to maximise the developable area of the site.

4.0 Planning Issues and Risks

Relevant Planning Policies/Considerations

- 4.1. The adopted Development Plan for Epping Forest District Council is the Combined Local Plan 1998 and Local Plan Alterations 2006.

- 4.2. The site is not located in a Conservation Area and it is not designated for any particular purposes in the Epping Forest District Council Combined Local Plan 1998 and Local Plan Alterations 2006. The site does not lie in a Flood Zone on the Environment Agency Flood Map.
- 4.3. There are no specific policies which prevent the loss of existing garages although policy ST4 (Road Safety) states that planning permission will only be granted where there will be no adverse effects on the highway, traffic congestion or harm to the character or appearance of the area. Parking spaces to meet with the Council's standards are proposed for the new dwellings.
- 4.4. It will be necessary to undertake a Parking Survey and to prepare a Transport Statement to demonstrate that the loss of the garages and proposed development would not cause any parking shortfalls or harm to highway conditions or the amenities of the area.
- 4.5. The site is located in the settlement of Buckhurst Hill and the proposal would be consistent with policy CP7 which encourages the efficient use of existing built-up areas by the 'recycling of vacant, derelict, degraded and under-used land to accommodate the development' and the 're-use of urban sites, which are no longer appropriate to their existing or proposed use in the foreseeable future, for alternative land uses'.
- 4.6. The proposal would comply with policy H4A which states the need for a range of dwellings, including an appropriate proportion of smaller dwellings, to meet identified housing need on a site-by-site basis.
- 4.7. The development of four small units of affordable housing with rear gardens and private and 11 parking spaces (for communal parking) would be in keeping with the character and appearance of the area and may comply with Epping Forest's design policies and guidance.

5.0 **Impact/Implications of Statutory Services**

- 5.1. We have undertaken statutory services enquiries to the following:
- Southern Gas
 - Cable and Wireless
 - Virgin Media
 - Thames Water
 - BT
 - National Grid
 - Scottish and Southern Energy
 - Environment Agency
 - UK Power Networks
- 5.2. Responses received to date are from the Environment Agency, National Grid, UK Power Networks, Virgin Media and Thames Water.
- 5.3. The Environment Agency have pointed out the existence of an underground culvert which crosses the site (see Thames Water response below).
- 5.3.1. National Grid: No apparatus appears to cross the site.
- 5.3.2. UK Power Networks: No apparatus appears to cross the site.

- 5.3.3. Virgin Media: No apparatus appears to cross the site
- 5.4. Thames Water: Foul and surface water sewers are indicated at the northern entrance of the site. These would not appear to conflict with the proposed built development but consultation with Thames Water will be necessary.
- 5.5. It should be noted there are a number of responses to enquiries that, at time of preparation of this report, have not yet been received.

6.0 **Site Access and Buildability Issues**

- 6.1. The site is accessed from existing site roads and there would not appear to be any particular difficulties for the normal level and size of construction traffic associated with a development of this nature.
- 6.2. Areas should be available for contractor's site set up and accommodation.
- 6.3. The site is within a primarily residential area, with also some retail elements nearby and, accordingly, any appointed contractor should use all best endeavours to act in a considerate manner and within normal working hours.
- 6.4. Further to initial enquiries made to EFDC, some potential contamination issues have been highlighted with use of the domestic garages, and also a former horticultural nursery. Possible contaminants in respect of the former use as a nursery are summarised and indicated within the note produced by EFDC Planning and Economic Development Directorate at Appendix E.
- 6.5. Possible contaminants in respect of the previous use of the garage site may include asbestos, ash and clinker, hydro-carbons from vehicle maintenance and the like.
- 6.6. Accordingly, suitable site investigation will need to be undertaken ahead of any proposals to take this site forward and specific recommendations made to deal with any contamination found, whether by capping or removal from site.

7.0 **Neighbourly Matters and Party Walls**

- 7.1. As above, the proposed development site is within a primarily residential area and the appointed contractor should act in a considerate manner. It is proposed that restrictions on working hours, noise levels, requirement for resident liaison and similar matters will be included within contract documentation.
- 7.2. From proposals on Drawing 612.023/P2-6A, Party Wall matters may be relevant to development, particularly adjacent to No. 45 Blackmore Road.
- 7.3. Confirmation of ownership will be required in due course.
- 7.4. Such Party Wall matters may be undertaken ahead of the build contract by direct appointment by EFDC, or included as a requirement for the contractor to deal with within the build contract. This later approach, however, would carry increased risk to programme and cost.

8.0 **Proposed Procurement Route**

- 8.1. It is understood that development works will be procured by way of the East Thames Housing Group existing contractor framework arrangements.

- 8.2. It is proposed that works shall be procured on a Design and Build basis with the contractors taking forward RIBA Stage D planning consent drawings into detailed design and construction delivery on site.
- 8.3. Schemes shall be designed to a set of Employer's Requirements to be subsequently confirmed but which substantially shall be formed from existing East Thames Housing Group Design Standards and Employer's Requirement documentation.
- 8.4. It is proposed that all site preparation works will be included within individual contract packages including any required demolitions, adjustment of statutory services, highways works and boundary maintenance/reinstatement/provision.
- 8.5. On completion of the feasibility studies for the whole programme, further recommendations will be made in terms of how works are packaged to ensure size of work packages are optimised for ensuring maximum economies for East Thames Housing Group and EFDC.
- 8.6. It is considered, at this stage, that this may be by way of a mix of different sized contractors dependent upon the numbers and geographical location of individual works packages.
- 8.7. Works will be administered by Pellings LLP as Employer's Agent acting in accordance with East Thames Housing Group terms of appointment and the overarching requirements of the Development Agency agreement.

9.0 **Impact on Parking**

- 9.1. The Council's currently adopted parking standards are contained within Essex County Council's Parking Standards Design and Good Practice Guide – September 2009. These revised standards were adopted by the Council as statutory planning guidance in February 2012.
- 9.2. Flats and houses have the same parking standard as follows:
- 1 bedroom accommodation – 1 space per dwelling
 - 2 bedroom accommodation and above – 2 spaces per dwelling
 - Visitor parking – 0.25 spaces per dwelling (rounded up to the nearest whole number)

9.3. The proposals would appear to more than meet the Council's parking standards for new development.

9.4. However, should the site move forward to planning application stages, it is recommended that a Transport Statement be undertaken, including parking surveys, to demonstrate that the loss of the garages will not give rise to any planning or highway problems.


10.0 **Legals**

10.1. We have been provided with a Summary Report of legal matters from EFDC Solicitors. The report makes reference to the suggested appropriation of land for planning purposes which would extinguish any prior rights of way.

10.2. The report makes reference to possible rights of light risk. A blanket policy against such risk might be considered.

- 10.3. The Housing Management Report comments on a land locked passage serving Blackmore Road. However this appears to be outside of the subject site.
- 10.4. Adjustments to leases may be required for other users of the access road, but would not impinge on development.
- 10.5. There is an existing access from 39 Blackmore Road into the proposed private garden area. We assume that appropriation of land would extinguish any rights in this respect.
- 11.0 **Costs**
- 11.1. It is considered that a budget of £831,900.00 should be allowed for this scheme, inclusive of contractor design fees, but exclusive of professional fees and VAT. Please refer to Appendix F.
- 12.0 **Recommendations and Conclusions**
- 12.1. Subject to an overall lifetime cost appraisal, we conclude that the site appears to have economic development opportunities and we recommend is considered for taking forward to planning application stage, with a view to incorporating into the overall programme.

Signed:


.....
Pellings LLP

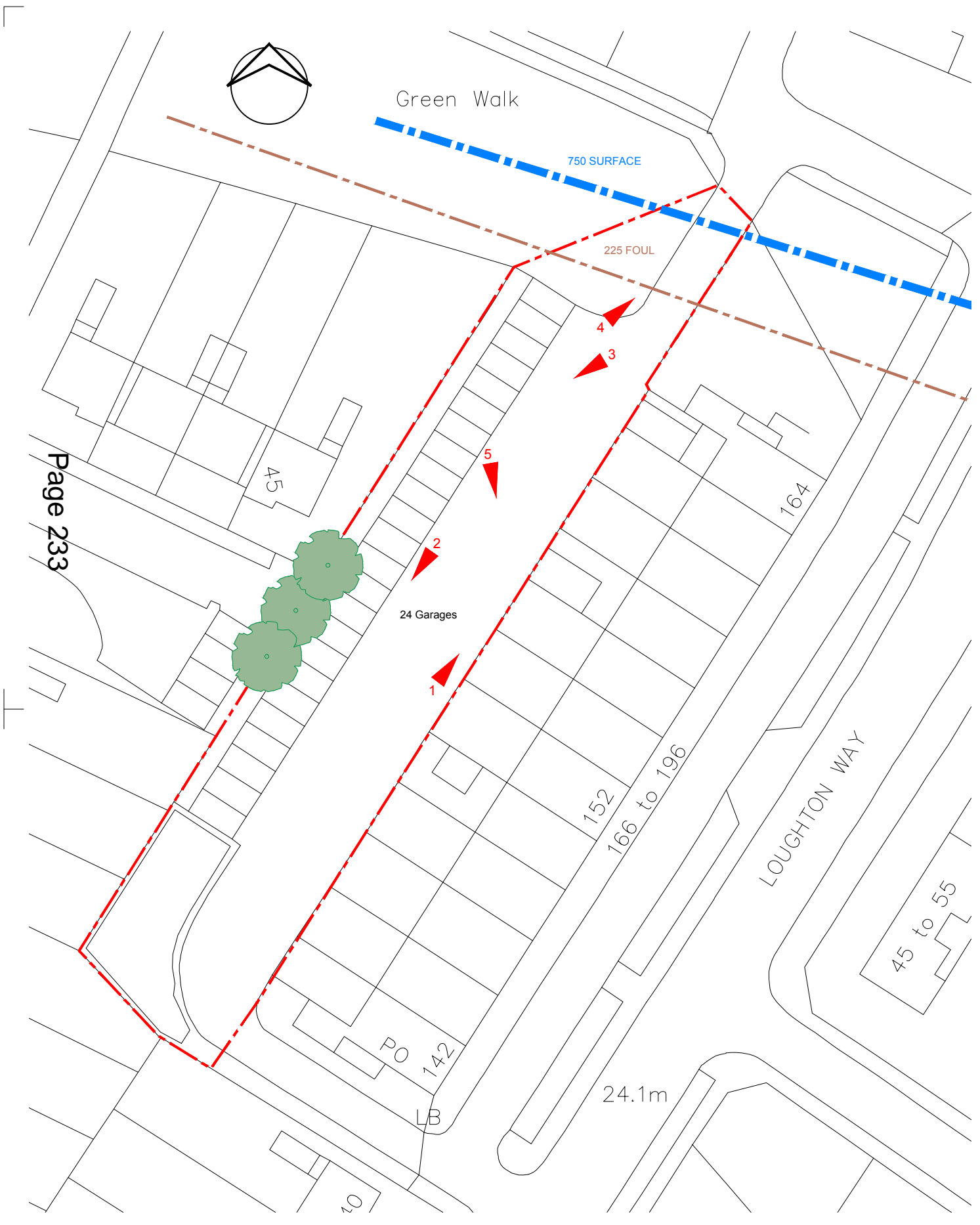
Date:

1st October 2014

Appendix A

Development Proposals

Drawings 612.023.P2-6A



NOTES:

Report all discrepancies, errors and omissions
 Do not scale from this drawing.
 Verify all dimensions on site before commencing any work or preparing shop drawings.
 All materials, components and workmanship are to comply with all the relevant British Standards, Codes of Practice, and appropriate manufacturers recommendations that from time to time shall apply.
 For all specialist work, see relevant drawings.

This drawing and design are copyright of PELLINGS LLP

PRELIMINARY

Rev	Date	Description	Name
-	-/-/-		



Pellings LLP 24 Widmore Road Bromley Kent BR1 1RY t 020 8460 9114 f 020 8313 0019 e bromley@pellings.co.uk www.pellings.co.uk		Architecture & Planning ■ Building Surveying ■ Project Management ■ Cost Consultancy ■ CDM Co-ordination	
CLIENT	East Thames HA	PROJECT	EFDC House Building Programme
TITLE	Existing and Proposed Plans Loughton Way	DATE	NOV 2013
		SCALE	1:500 @A3
		DRAWN	NP
		CHK	
DRAWING No		612 023 P2-6	
		A	

Appendix B

Site Photographs

Appendix B - Site Photographs

1.



2.



3.



4.



5.



Appendix C

Existing Site Plan



Contains Ordnance Survey & Royal Mail Data
 © Crown Copyright & Database Right 2011
 EFDC License No 100018534 2011

Directorate of Environment & Street Scene
 Civic Offices
 High Street
 Epping, Essex,
 CM16 4BZ
 Tel 01992 564000

Project
 Potential Site for Council House
 Building Program

Drawing No.
 201206014 - F

Content
 Rear Of Shops
 Loughton Way
 Buckhurst Hill

Date
 04/07/12

Scale
 1:1250 @ A4

Drawn By
 Robert Irwin

Appendix D

Statutory Services Information

Adam Greenhalgh
Pellings
24 Widmore Road
Bromley
Kent
BR1 1RY

National Grid Electricity Emergency Number:
0800 40 40 90*

National Gas Emergency Number:
0800 111 999*

* Available 24 hours, 7 days/week.
Calls may be recorded and monitored.

www.nationalgrid.com

Date: 23/10/2013
Our Ref: NL_TE_Z6_3SW_042044
Your Ref: ag/dh/612/023/02 - wr022

RE: Proposed Works, IG9 6AH LOUGHTON WAY, CITY OF LONDON

Thank you for your enquiry which was received on 17/10/2013.

Please note this response and any attached map(s) are valid for 28 days.

An assessment has been carried out with respect to National Grid Electricity Transmission plc's and National Grid Gas plc's apparatus. Please note it does not cover the items listed in the section "Your Responsibilities and Obligations", including gas service pipes and related apparatus.

For details of National Grid's network areas please see the National Grid website (<http://www.nationalgrid.com/uk/Gas/Safety/work/>) or the enclosed documentation.

As your works are at a "proposed" stage, any maps and guidance provided are for information purposes only. This is not approval to commence work. You must submit a "Scheduled Works" enquiry at the earliest opportunity and failure to do this may lead to disruption to your plans and works. National Grid will endeavour to provide an initial assessment within 14 days of receipt of a Scheduled Works enquiry and dependent on the outcome of this, further consultation may be required.

In any event, for safety and legal reasons, works must not be carried out until a Scheduled Works enquiry has been completed and final response received.

Your Responsibilities and Obligations

The "Assessment" Section below outlines the detailed requirements that must be followed when planning or undertaking your scheduled activities at this location.

It is your responsibility to ensure that the information you have submitted is accurate and that all relevant documents including links are provided to all persons (either direct labour or contractors) working for you near National Grid's apparatus, e.g. as contained within the Construction (Design and Management) Regulations.

This assessment solely relates to National Grid Electricity Transmission plc (NGET) and National Grid Gas plc (NGG) apparatus. This assessment does **NOT** include:

- National Grid's legal interest (easements or wayleaves) in the land which restricts activity in proximity to National Grid's assets in private land. You must obtain details of any such restrictions from the landowner in the first instance and if in doubt contact National Grid.
- Gas service pipes and related apparatus
- Recently installed apparatus
- Apparatus owned by other organisations, e.g. other gas distribution operators, local electricity companies, other utilities, etc.

It is **YOUR** responsibility to take into account whether the items listed above may be present and if they could be affected by your proposed activities. Further "Essential Guidance" in respect of these items can be found on the National Grid Website (<http://www.nationalgrid.com/NR/rdonlyres/6D6525F9-59EB-4825-BA89-DBD7E68882C7/51319/EssentialGuidance.pdf>).

This communication does not constitute any formal agreement or consent for any proposed development work; either generally or with regard to National Grid's easements or wayleaves nor any planning or building regulations applications.

NGG and NGET or their agents, servants or contractors do not accept any liability for any losses arising under or in connection with this information. This limit on liability applies to all and any claims in contract, tort (including negligence), misrepresentation (excluding fraudulent misrepresentation), breach of statutory duty or otherwise. This limit on liability does not exclude or restrict liability where prohibited by the law nor does it supersede the express terms of any related agreements.

If you require further assistance please contact the National Grid Plant Protection team via e-mail ([click here](#)) or via the contact details at the top of this response.

Yours faithfully

National Grid Plant Protection Team

ASSESSMENT

Affected Apparatus

The National Grid apparatus that has been identified as being in the vicinity of your proposed works is:

- High or Intermediate pressure (above 2 bar) Gas Pipelines and associated equipment
- Low or Medium pressure (below 2 bar) gas pipes and associated equipment. (As a result it is highly likely that there are gas services and associated apparatus in the vicinity)

Requirements

BEFORE carrying out any work you must:

- Carefully read these requirements including the attached guidance documents and maps showing the location of National Grid apparatus.
- Contact the landowner and ensure any proposed works in private land do not infringe National Grid's legal rights (i.e. easements or wayleaves). If the works are in the road or footpath the relevant local authority should be contacted.
- Ensure that all persons, including direct labour and contractors, working for you on or near National Grid's apparatus follow the requirements of the HSE Guidance Notes HSG47 - 'Avoiding Danger from Underground Services' and GS6 – 'Avoidance of danger from overhead electric power lines'. This guidance can be downloaded free of charge at <http://www.hse.gov.uk>
- In line with the above guidance, verify and establish the actual position of mains, pipes, cables, services and other apparatus on site before any activities are undertaken.

GUIDANCE

High Pressure Gas Pipelines Guidance:

If working in the vicinity of a high pressure gas pipeline the following document must be followed: 'Specification for Safe Working in the Vicinity of National Grid High Pressure Gas Pipelines and Associated Installations - Requirements for Third Parties' (SSW22). This can be obtained from:

http://www.nationalgrid.com/NR/rdonlyres/50ACAC0A-ED26-41A7-91FA-83163A98270F/23790/TSPSSW22_J537_Rev0807.pdf

Excavating Safely - Avoiding injury when working near gas pipes:

http://www.nationalgrid.com/NR/rdonlyres/2D2EEA97-B213-459C-9A26-18361C6E0B0D/25249/Digsafe_leaflet3e2finalamends061207.pdf

Standard Guidance

Essential Guidance document:

<http://www.nationalgrid.com/NR/rdonlyres/6D6525F9-59EB-4825-BA89-DBD7E68882C7/51319/EssentialGuidance.pdf>

General Guidance document:

<http://www.nationalgrid.com/NR/rdonlyres/55C13C4D-A1AA-4B13-BFDA-1CF59F88B326/51318/GeneralGuidance.pdf>

Excavating Safely in the vicinity of gas pipes guidance (Credit card):

<http://www.nationalgrid.com/NR/rdonlyres/A3D37677-6641-476C-9DDA-E89949052829/44257/ExcavatingSafelyCreditCard.pdf>

Excavating Safely in the vicinity of electricity cables guidance (Credit card):

<http://www.nationalgrid.com/NR/rdonlyres/35DDEC6D-D754-4BA5-AF3C-D607D05A25C2/44858/ExcavatingSafelyCreditCardelectricitycables.pdf>

Copies of all the Guidance Documents can also be downloaded from the National Grid Website:

<http://www.nationalgrid.com/uk/Gas/Safety/work/downloads/>

ENQUIRY SUMMARY

Received Date

17/10/2013

Your Reference

ag/dh/612/023/02 - wr022

Location

Centre Point: 542184, 194703

X Extent: 79

Y Extent: 104

Postcode: IG9 6AH

Location Description: IG9 6AH LOUGHTON WAY, CITY OF LONDON

Map Options

Paper Size: A4

Orientation: LANDSCAPE

Requested Scale: 1250

Actual Scale: 1:5000 (GAS)

Real World Extents: 1445m x 785m (GAS)

Recipients

pprsteam@uk.ngrid.com

Enquirer Details

Organisation Name: Pellings

Contact Name: Adam Greenhalgh

Email Address: bromley@pellings.co.uk

Telephone: 0208 460 9114

Address: 24 Widmore Road, Bromley, Kent, BR1 1RY

Description of Works

plans required

Enquiry Type

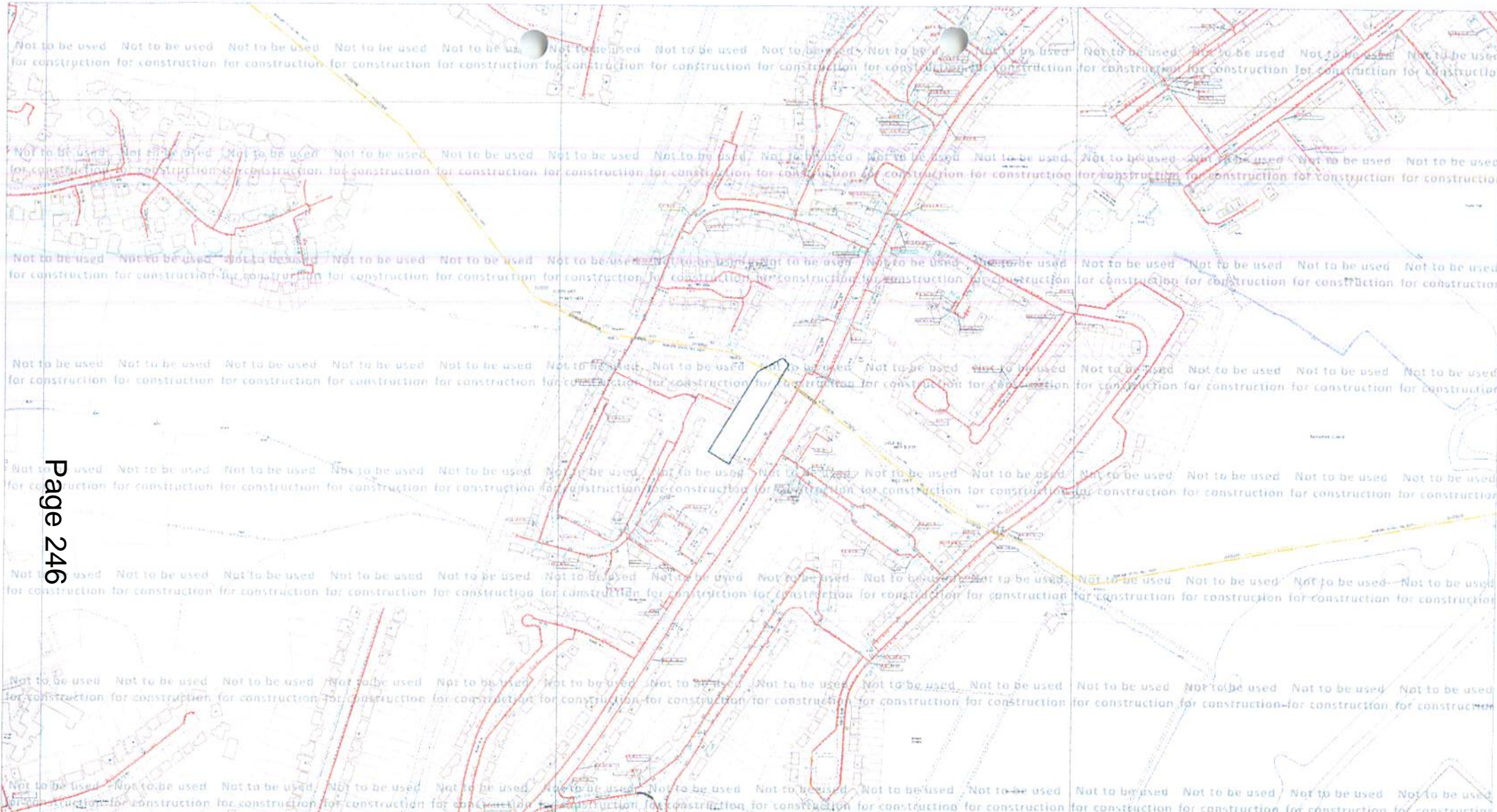
Proposed Works

Activity Type

Development Project

Work Types

Work Type: Plans Only



ID: NL_TE_Z6_3SW_042044		View extent: 1445m, 785m	
USER: wayne.ridgeway		LP MAINS	
DATE: 23/10/2013		MP MAINS	
DATA DATE: 15/10/2013		IP MAINS	
REF: ag/dh/612/023/02 - wr022		LHP MAINS	
MAP REF: TQ4294		NHP MAINS	
CENTRE: 542184, 194703		 Approximate scale 1:5000 on A4 Colour Landscape	
Valve	Depth of Cover	Syphon	Diameter Change
			Material Change

Map not to be used for construction

This plan shows those pipes owned by National Grid Gas plc in its role as a Licensed Gas Transporter (GT). Gas pipes owned by other GTs, or otherwise privately owned, may be present in this area. Information with regard to such pipes should be obtained from the relevant owners. The information shown on this plan is given without warranty, the accuracy thereof cannot be guaranteed. Service pipes, valves, syphons, stub connections, etc., are not shown but their presence should be anticipated. No liability of any kind whatsoever is accepted by National Grid Gas plc or their agents, servants or contractors for any error or omission. Safe digging practices, in accordance with HS(G)47, must be used to verify and establish the actual position of mains, pipes, services and other apparatus on site before any mechanical plant is used. It is your responsibility to ensure that this information is provided to all persons (either direct labour or contractors) working for you on or near gas apparatus. The information included on this plan should not be referred to beyond a period of 28 days from the date of issue.

Map 1 of 1 (GAS)

MAPS Plot Server Version 1.7.6

Requested by: Pellings

This plan is reproduced from or based on the OS map by National Grid Gas plc, with the sanction of the controller of HM Stationery Office.
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 Licence number 100024886

creating a better place



Adam Greenhalgh
Pellings LLP
24 Widmore Road
Bromley
Kent
BR1 1RY

Our refs: NE/2013/119023/01-L01
NE/2013/119024/01-L01

Your ref: AG/dh/612.023/05

Date: 5 November 2013

Dear Adam,

Enquiry for proposed redevelopment of two sites: *Rear of Shops, Loughton Way, Buckhurst Hill and Pentlow Way, Buckhurst Hill*

Thank you for consulting us with details of the above sites. In addition to our comments that we have already provided to you for the majority of the sites you consulted us with, these sites also appear to have a culverted watercourse running through them. These features will require additional investigations prior to any redevelopment.

As discussed above, our maps indicate that there is a culverted ordinary watercourse that runs through both of these sites. We would expect the applicant to open up any culverts running through the site where feasible, naturalise the watercourse and provide a sufficient development-free buffer zone adjacent to the newly restored watercourse. If the applicant is unable to open up the culvert, full justification should be provided and alternative mitigation or compensation should be provided. Responsibility for ordinary watercourses has now been passed to the Lead Local Flood Authority (Essex County Council in this case), who would need to agree to any proposals outlined for the watercourse.

The culverted watercourse, which runs north-west to south-east through the site, feeds directly into the River Roding. Under the Water Framework Directive, the River Roding is currently at 'poor' ecological status, with a target of achieving 'good' ecological status (gaining two descriptive classes) by a 2027 deadline. Given this, we strongly support any projects that positively enhance the River Roding or the watercourses in the Roding catchment.

As we are in an area of serious water stress, we endorse the efficient use of water resources. Residential developments such as your proposal should take advantage of water efficient technologies. This is in line with Epping Forest's local policy CP5 which states that the efficient use of water is encouraged through water efficient appliances and rainwater harvesting for example.

We suggest you use water efficiency measures and aim to achieve 105 litres/person/day. This is equivalent to level 3/4 for water within the Code for Sustainable Homes. Achieving this standard within new homes can be accomplished at very little additional cost, and is significantly cheaper than retrofitting such measures later.

Environment Agency
Apollo Court, 2 Bishops Sq Business park, Hatfield, Herts, AL10 9EX.

Every opportunity should be taken to maximise Sustainable Drainage Systems (SuDS) such as green roofs, ponds, swales and permeable pavements, to alleviate surface water runoff. I have previously provided you with a copy of our SuDS guidance, which contains the SuDS hierarchy, to help you with your designs. The methods at the top of the hierarchy are preferred because they are beneficial in terms of sustainability and biodiversity. The hierarchy should be used in descending order. Tanks should only be used as a last resort. Epping Forest's local policy U3B on sustainable drainage systems advocates this approach.

As both of the sites are under a hectare in Flood Zone 1, they fall within cell F5 of our Flood Risk Standing Advice consultation matrix. Epping Forest Local Planning Authority will therefore be responsible for assessing flood risk at these sites.

Yours sincerely,

Clark Gordon
Sustainable Places Planning Advisor

Direct dial 01707 632308
E-mail SPHatfield@environment-agency.gov.uk

Adam Greenhalgh

From: Trevor Baker <tjbaker@eppingforestdc.gov.uk>
Sent: 08 November 2013 14:15
To: Adam Greenhalgh
Cc: Lee Savill; John Hayes; Matt Little
Subject: FW: OS Extracts - Pentlow Way/Loughton Way, Loughton
Attachments: 119023 (2).pdf; CANONB08A3B_LDAPMAIL_11062013-144839.pdf; Public Sewer extracts.pdf

Dear Mr Greenhalgh

Thank you for your email of yesterday concerning the potential development of the above sites.

The EA are partially correct in their statement, and I enclose for your perusal extracts from Thames Waters Public Sewer Records.

The 750/825mm diameter "drains" running west to east on the northern edges of both sites, are on the face of it culverted watercourses and given that on the whole they run under Epping Forest District Council land they would be the responsibility of this organisation. However, if there were circumstances that dictated a more in-depth analysis of their status, as the drains effectively operate as public surface water sewers taking all manner of surface and highway water run off, this team on behalf of EFDC would potentially challenge Thames' designation that they are "private" assets. However, in the short term and for your purposes they would be designated as assets under the control of this team on behalf of EFDC's Housing directorate.

Notwithstanding the above, for the Loughton Way site the drain is at the northern edge of the site and within the "green corridor" that I doubt would be subject to above ground development anyway.

For Pentlow Way, the drain is well away from the sites northern boundary and would not be directly affected. What is of more importance for this location is the indicated presence of a 675mm diameter public foul water sewer running diagonally across the site at a depth of approx 2.3m to invert. Should any development be proposed over the line of the sewer then Thames Water must be consulted and advice sought.

I trust the above is self-explanatory, but should you require any further assistance, please feel free to contact this team again

Kind regards

Trevor Baker
Land Drainage Engineer

Epping Forest District Council
Civic Offices
High Street
Epping
Essex
CM16 4BZ

P: 01992 564048 (DD)
P: 01992 564608 (Customer Services)
E: tjbaker@eppingforestdc.gov.uk



agreenhalgh@pellings.co.uk	

	Foul Manhole
	Surface Manhole
	Combined Manhole
	Abandoned Manhole
	Other Manhole
	End Item
	S104 Boundary
	Foul Sewer
	Surface Sewer
	Combined Sewer
	Abandoned Sewer
	Pressure Main
	Private Asset (Colour denotes effluent type)
	Proposed Asset (Colour denotes effluent type)

Map Centre: 542169.7, 194716 Data updated: 16/08/13

Scale: 1:1083

Date: 23/10/13

(c) Crown Copyright and database rights 2012 Ordnance Survey 100019345

Based on the Ordnance Survey Map with the sanction of the Controller of H.M. Stationary Office License Number:- 100019345. This map is to be used for the purposes of viewing the location of Thames Water plant only. Any other uses of the map data or further copies are not permitted. The position of the apparatus shown on this plan is given without obligation and warranty, and the accuracy cannot be guaranteed. This information is valid for the date printed. Service pipes are not shown but their presence should be anticipated. No liability of any kind whatsoever is accepted by Thames Water for any error or omission. The actual position of mains and services must be verified on site before any works are undertaken.



(c) Crown Copyright and database rights 2012 Ordnance Survey 100019345

Date: 23/10/13

Scale: 1:1083

Map Centre: 542169.7, 194716

Data updated: 16/08/13

Clean Water Plan A4

Based on the Ordnance Survey Map with the sanction of the Controller of H.M. Stationary Office License Number: 100019345. This map is to be used for the purposes of viewing the location of Thames Water plant only. Any other uses of the map data or further copies are not permitted. The position of the apparatus shown on this plan is given without obligation and warranty, and the accuracy cannot be guaranteed. This information is valid for the date printed. Service pipes are not shown but their presence should be anticipated. No liability of any kind whatsoever is accepted by Thames Water for any error or omission. The actual position of mains and services must be verified on site before any works are undertaken.

Water Main		Meter	
Private Water		Valve	
Proposed Water		Hydrant	
Abandoned Asset		End Item	

agreemhghn@pellings.co.uk



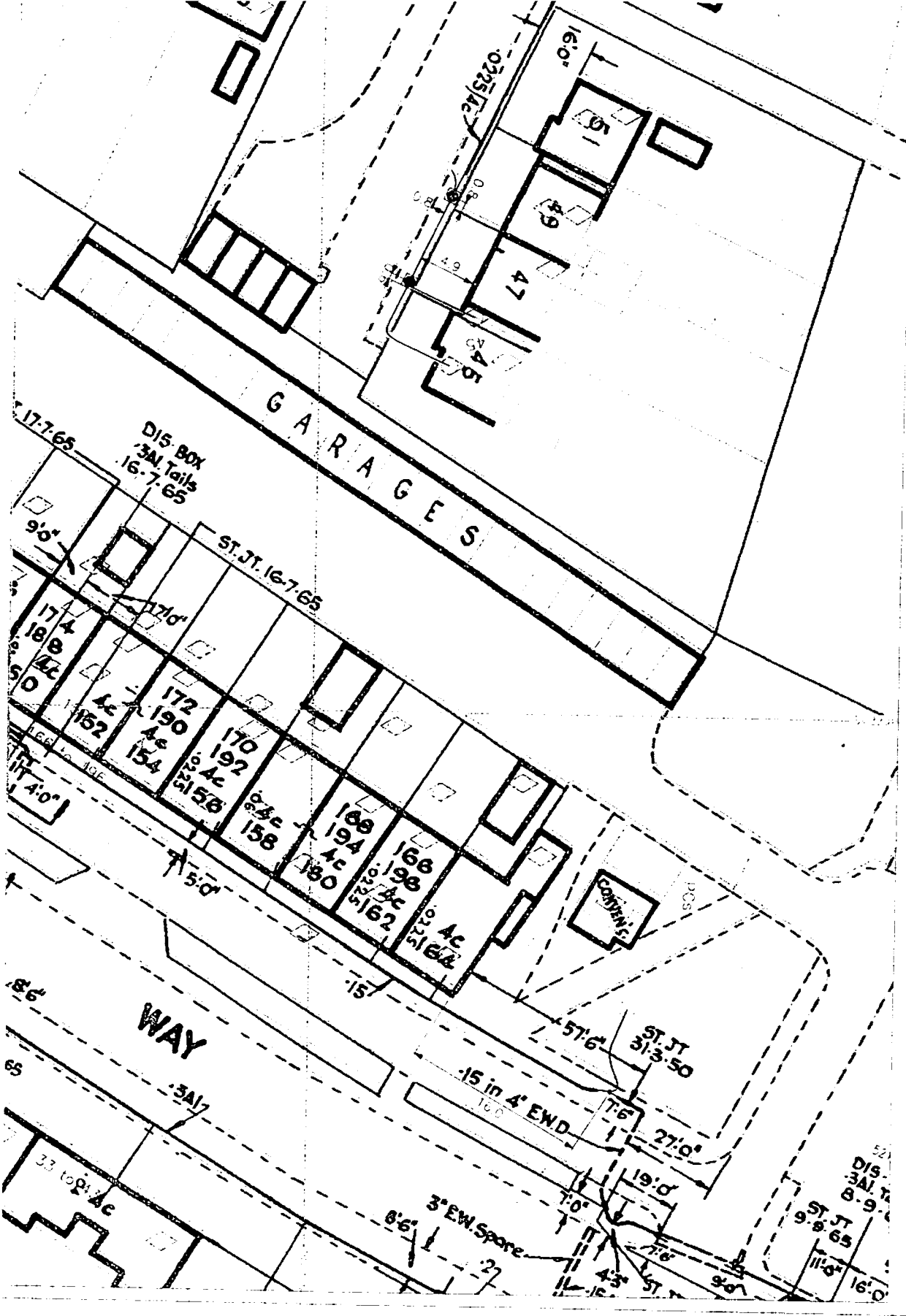


Date: 24/10/13 Scale: 1:1083 Map Centre: 542181.3,194710.4 Data updated: 25/08/13

agreenhalgh@pellings.co.uk

- Duct, Trench 
- Chamber 
- Cabinet 

Important information - please read
 The purpose of this plan is to identify Virgin Media apparatus. We have tried to make it as accurate as possible but we cannot warrant its accuracy. In addition, we caution that within Virgin Media apparatus there may be instances where main voltage power cables have been placed inside green, rather than black ducting. Further details can be found using the Affected Postcodes PDF, which can be downloaded from the website.
 Therefore, you must not rely solely on this plan if you are carrying out any excavation or other works in the vicinity of Virgin Media apparatus. The actual position of any underground service must be verified by cable detection equipment, etc. and established agents. Virgin Media will not have any liability for any omissions or inaccuracies in the plan or for any loss or damage caused or arising from the use of and/or any reliance on this plan.
 The plan is produced by Virgin Media Limited from Ordnance Survey © Crown Copyright 100018209



Appendix E

Information on Possible Contamination

Information on possible contamination has been forwarded by Epping Forest District Council by way of email of 22nd May 2013, giving information on potential contamination across all the primary sites.

This clarifies possible ground contamination derived from asbestos, made ground, hydrocarbons, petroleum hydrocarbons and the like.

It is likely that any Planning Consent will carry a Condition that all contamination issues are to be remediated.

Accordingly, we recommend that initial site investigation is undertaken for all sites that move forward to Planning Applications.

Appendix F

Cost Build-up

Indicative Estimate of Cost
for East Thames HA



28 November 2013

Gross Internal floor area	m2	ft2
Affordable Flat Units	0	0
Allowance for communal space @ 20%	0	0
Affordable House Units	372	4,004
TOTAL GIA	372	4,004

Item	Element	Qty	Unit	Rate £/unit	Total £
1.0 Demolition					
1.1	Demolition	329	m ²	50	16,449
2.2	Site clearance	1,656	m ²	10	16,556
1.2	Allowance for removal of asbestos	24	No	800	19,200
	Sub-total			say	50,000
2.0 Affordable Flat units (xx nr. units)					
2.1	Flats Private areas	0	m ²	1,350	0
2.2	Flats communal areas (20% allowed)	0	m ²	900	0
	Sub-total			say	0
3.0 Affordable House units (04 nr. units)					
3.1	House areas	372	m ²	1,250	465,000
	Sub-total			say	470,000
4.0 Abnormals / E/o and External Works					
4.1	Private gardens (incl. fencing)	381	m ²	40	15,000
4.2	Communal Gardens	310	m ²	30	9,000
4.3	Access road, parking and turning	728	m ²	65	47,000
4.4	Pedestrian paving	0	m ²	50	Incl.
4.5	Cross over / highways adaptations	2	item	2,000	4,000
4.6	Allowance for contaminated ground	0	item		Excl.
4.7	Boundary treatment (fencing/walls)	227	m	160	36,000
4.8	Allowance for achieving CfSh Level 3	4	nr	4,500	18,000
	Sub-total			say	130,000
			£/m2	£/ft2	
	INDICATIVE CONSTRUCTION COST				650,000
	CONTINGENCY @ 5%				30,000
	CONTRACTORS DESIGN FEES @ 8%				54,400
	PRELIMS AND OVERHEADS AT 15%				97,500
	TOTAL INDICATIVE CONSTRUCTION COST		2,236		831,900

Clarifications and Assumptions

Estimate based on Pellings Feasibility drawings and standard ETG specifications

GIA is approximate due to early stage of design

Costs are based on a Q3 2014 start on site

Costs are based on a Single Stage Competitive D&B procurement route

Costs are based on a Contractor 'best programme' contract period

All units assumed to achieve Code for sustainable Homes Level 3

It is assumed that a traditional construction (concrete strip foundations, brick/block walls, timber floor structure, sloped tiled roofs) will be used

Contractors design fees are based upon appointment with planning consent under JCT D&B contract

Assumed no Party Wall or Rights of Lights issues

Exclusions

Clients professional fees (including statutory fees)

VAT

Hazardous material removal

Excludes any off-site works

Provision of loose fittings and furnishings

Costs of compliance of any conditions imposed by TFL or other statutory bodies

Costs of Section 106, S108, S278 Agreement(s) or Community Infrastructure Levy charges

**East Thames Housing / Epping Forest District Council
Housing Delivery Programme**

Feasibility Report

Site: 440-445 Lower Alderton Hall (Garages) Loughton IG10 3HA

Rev: A

Ref: IJC/srs/612.023
Date: September 2014

Contents

1. Introduction and Confirmation of Brief
2. Existing Site and Surroundings
3. Proposals
4. Planning Issues and Risks
5. Impact/Implications of Statutory Services
6. Site Access and Buildability Issues
7. Neighbourly Matters and Party Walls
8. Proposed Procurement Route
9. Impact on Parking
10. Legals
11. Costs
12. Recommendations and Conclusions

Appendices

- A: Development Proposals – Drawings 612.023.P2-8A
- B: Site Photographs
- C: Existing Site Plan 201206014-AO
- D: Statutory Services Information
- E: Information on Possible Contamination
- F: Cost Build-up

1.0 Introduction and Confirmation of Brief

- 1.1. Pellings LLP are appointed as part of East Thames Group Technical Team in respect of delivery of Development Agent services to Epping Forest District Council for a six year housing delivery programme.
- 1.2. Following initial appraisal by EFDC, 59 sites have been identified as having possible development potential, with a further number of sites in reserve.
- 1.3. Pellings LLP have been instructed to progress feasibility studies to all 59 sites and which will assist in establishing the extent and timing of the overall programme.
- 1.4. Our instructions are in accordance with our fee tender of 13 August 2012, against the previously prepared tender documentation, and email confirmation of 9 April 2013.

2.0 Existing Site and Surroundings

- 2.1. The site is located in a residential area midway between Loughton and Debden stations.
- 2.2. The site consists of 6 single garages, hard surfaced parking area and grassed verges. It is situated on one side of a close of 11 two bedroom terraced houses, none of which appear to have any parking spaces immediately associated with them. The surrounding area is residential but it consists of a range of architectural styles. There are two, three and four storey houses and flats, some brick built and some concrete panelled, with both flat and pitched roofs.
- 2.3. The site backs on to the railway line.
- 2.4. The site is served by electricity cables which appear to run to the perimeter.
- 2.5. A number of mature trees are on or adjacent to the site.

3.0 Proposals

- 3.1. Read in conjunction with drawings 612.023.P2-8A attached at Appendix A.
- 3.2. The proposals are :

Erection of a 2 x two storey 2 bedroom houses each with gardens
Provision of 20 parking spaces and access/landscaping
- 3.3. Proposals when reaching detailed design stage, will need to take account of foundation solutions and protection measures to take account of tree influence.

4.0 Planning Issues and Risks

Relevant Planning Policies/Considerations

- 4.1. The adopted Development Plan for Epping Forest District Council is the Combined Local Plan 1998 and Local Plan Alterations 2006.
- 4.2. The site is not located in a Conservation Area and it is not designated for any particular purposes in the Epping Forest District Council Combined Local Plan 1998 and Local Plan Alterations 2006. The site does not lie in a Flood Zone on the Environment Agency Flood Map.

- 4.3. There are no specific policies which prevent the loss of existing garages although policy ST4 (Road Safety) states that planning permission will only be granted where there will be no adverse effects on the highway, traffic congestion or harm to the character or appearance of the area. Parking spaces to meet with the Council's standards are proposed for the new dwellings.
- 4.4. It will be necessary to undertake a Parking Survey and to prepare a Transport Statement to demonstrate that the loss of the garages and proposed development would not cause any parking shortfalls or harm to highway conditions or the amenities of the area.
- 4.5. The site is located in the settlement of Loughton and the proposal would be consistent with policy CP7 which encourages the efficient use of existing built-up areas by the 'recycling of vacant, derelict, degraded and under-used land to accommodate the development' and the 're-use of urban sites, which are no longer appropriate to their existing or proposed use in the foreseeable future, for alternative land uses'.
- 4.6. The proposal would comply with policy H4A which states the need for a range of dwellings, including an appropriate proportion of smaller dwellings, to meet identified housing need on a site-by-site basis.
- 4.7. The development of small family homes with rear gardens and private and communal parking would be in keeping with the character and appearance of the area and may comply with Epping Forest's design policies and guidance.

5.0 **Impact/Implications of Statutory Services**

- 5.1. We have undertaken statutory services enquiries to the following:
- Southern Gas
 - Cable and Wireless
 - Virgin Media
 - Thames Water
 - BT
 - National Grid
 - Scottish and Southern Energy
 - Environment Agency
 - UK Power Networks
- 5.2. Responses received to date are from the Environment Agency, National Grid, UK Power Networks, Virgin Media and Thames Water.
- 5.3. The Environment Agency has not pointed out any watercourses which cross the site.
- 5.3.1. National Grid: No apparatus appears to be located on the site that affects our proposals.
- 5.3.2. UK Power Networks: There are cables appearing to run around the perimeter of the site, exact size and location to be confirmed.
- 5.3.3. Virgin Media: There is a cable along the southern part of the site.
- 5.4. Thames Water: A water main and surface sewer run along the southern boundary of the site.

- 5.5. It should be noted there are a number of responses to enquiries that, at time of preparation of this report, have not yet been received.
- 5.6. Proposals and siting of buildings have taken account of the services identified to date.
- 6.0 Site Access and Buildability Issues**
- 6.1. The site is accessed from existing site roads and there would not appear to be any particular difficulties for the normal level and size of construction traffic associated with a development of this nature.
- 6.2. Areas should be available for contractor's site set up and accommodation.
- 6.3. The site is within a primarily residential area and, accordingly, any appointed contractor should use all best endeavours to act in a considerate manner and within normal working hours.
- 6.4. Further to initial enquiries made to EFDC, some potential contamination issues have been highlighted with use of the domestic garages, and also a former horticultural nursery. Possible contaminants in respect of the former use as a nursery are summarised and indicated within the note produced by EFDC Planning and Economic Development Directorate at Appendix E.
- 6.5. Possible contaminants in respect of the previous use of the garage site may include asbestos, ash and clinker, hydro-carbons from vehicle maintenance and the like.
- 6.6. Accordingly, suitable site investigation will need to be undertaken ahead of any proposals to take this site forward and specific recommendations made to deal with any contamination found, whether by capping or removal from site.
- 7.0 Neighbourly Matters and Party Walls**
- 7.1. As above, the proposed development site is within a primarily residential area and the appointed contractor should act in a considerate manner. It is proposed that restrictions on working hours, noise levels, requirement for resident liaison and similar matters will be included within contract documentation.
- 7.2. From proposals on Drawing 612.023/P2-8A, it is not considered that Party Wall matters will be relevant.
- 7.3. We would recommend approach to Network rail to identify any particular requirements that might affect proposals.
- 8.0 Proposed Procurement Route**
- 8.1. It is understood that development works will be procured by way of the East Thames Housing Group existing contractor framework arrangements.
- 8.2. It is proposed that works shall be procured on a Design and Build basis with the contractors taking forward RIBA Stage D planning consent drawings into detailed design and construction delivery on site.
- 8.3. Schemes shall be designed to a set of Employer's Requirements to be subsequently confirmed but which substantially shall be formed from existing East Thames Housing Group Design Standards and Employer's Requirement documentation.

- 8.4. It is proposed that all site preparation works will be included within individual contract packages including any required demolitions, adjustment of statutory services, highways works and boundary maintenance/reinstatement/provision.
- 8.5. On completion of the feasibility studies for the whole programme, further recommendations will be made in terms of how works are packaged to ensure size of work packages are optimised for ensuring maximum economies for East Thames Housing Group and EFDC.
- 8.6. It is considered, at this stage, that this may be by way of a mix of different sized contractors dependent upon the numbers and geographical location of individual works packages.
- 8.7. Works will be administered by Pellings LLP as Employer's Agent acting in accordance with East Thames Housing Group terms of appointment and the overarching requirements of the Development Agency agreement.

9.0 **Impact on Parking**

- 9.1. The Council's currently adopted parking standards are contained within Essex County Council's Parking Standards Design and Good Practice Guide – September 2009. These revised standards were adopted by the Council as statutory planning guidance in February 2012.
- 9.2. Flats and houses have the same parking standard as follows:
- 1 bedroom accommodation – 1 space per dwelling
 - 2 bedroom accommodation and above – 2 spaces per dwelling
 - Visitor parking – 0.25 spaces per dwelling (rounded up to the nearest whole number)
- 9.3. The proposals would appear to more than meet the Council's parking standards for new development.
- 9.4. However, should the site move forward to planning application stages, it is recommended that a Transport Statement be undertaken, including parking surveys, to demonstrate that the loss of the garages will not give rise to any planning or highway problems.
- 9.5. Proposals for parking substantially exceed the current requirements to meet Planning standards. We have taken the opportunity to formalise parking on the site which is heavily parked at present and on an ad-hoc basis.

10.0 **Legals**

- 10.1. We have been provided with a Summary Report of legal matters from EFDC Solicitors. The report makes reference to the suggested appropriation of land for planning purposes which would extinguish any prior rights of way.
- 10.2. The report makes reference to possible rights of light risk. A blanket policy against such risk might be considered.
- 10.3. As included within Pellings LLP Feasibility Report, the Legals Checklist recommends approach to Network Rail to establish any particular considerations.

10.4. There is an existing Network Rail access highlighted within the Housing Management Report which would need a small revision to the private garden of Plot 1 on Pellings proposals.

10.5. The site is in use for existing parking provision for Nos. 1 – 11 Lower Alderton Hall Lane and any rights of access therefore should be particularly established for this site.

11.0 Costs

11.1. It is considered that a budget of £367,500.00 should be allowed for this scheme, inclusive of contractor design fees, but exclusive of professional fees and VAT. Please refer to Appendix F.

12.0 Recommendations and Conclusions

12.1. Subject to an overall lifetime cost appraisal, we conclude that the site appears to have economic development opportunities and we recommend is considered for taking forward to planning application stage, with a view to incorporating into the overall programme.

Signed: 

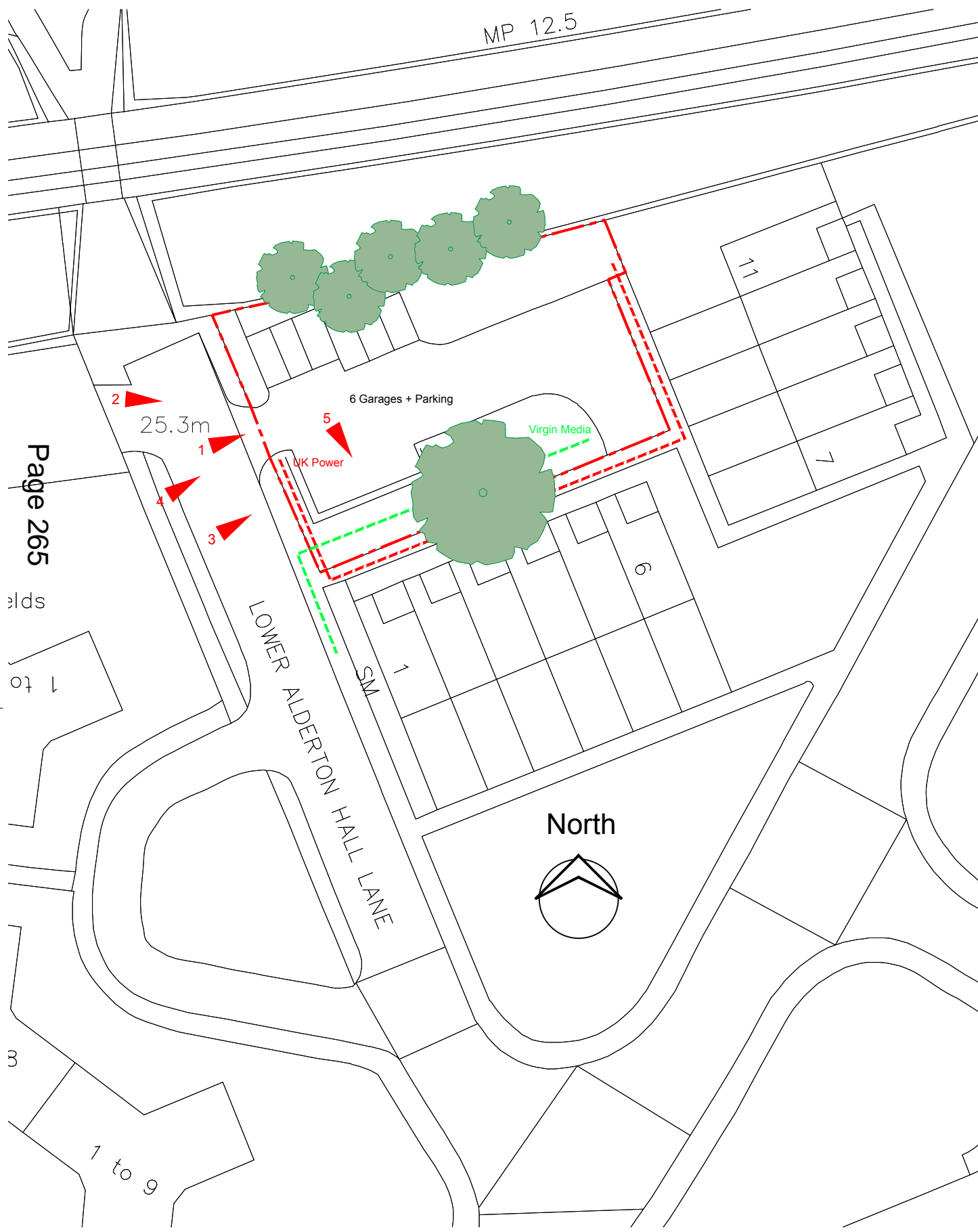
Pellings LLP

Date: 1st October 2014

Appendix A

Development Proposals

Drawings 612.023.P2-8A



Page 265



TOTALS
 Site Area 0.091 Ha
 2 x 2 Bed Houses @ 77 sqm
 20 Parking Spaces

NOTES:
 Report all discrepancies, errors and omissions
 Do not scale from this drawing.
 Verify all dimensions on site before commencing any work or preparing shop drawings.
 All materials, components and workmanship are to comply with all the relevant British Standards, Codes of Practice, and appropriate manufacturers recommendations that from time to time shall apply.
 For all specialist work, see relevant drawings.
 This drawing and design are copyright of PELLINGS LLP

PRELIMINARY

Rev	Date	Description	Name
-	-/-/-		



Pellings LLP 24 Widmore Road Bromley Kent BR1 1RY t 020 8460 9114 f 020 8313 0019 e bromley@pellings.co.uk www.pellings.co.uk		Architecture & Planning ■ Building Surveying ■ Project Management ■ Cost Consultancy ■ CDM Co-ordination	
CLIENT	East Thames HA	PROJECT	EFDC House Building Programme
TITLE	Existing and Proposed Plans Lower Alderton Hall Lane	DATE	NOV 2013
		SCALE	1:500 @A3
		DRAWN	NP
		CHK	
DRAWING No		612 023 P2-8	
		A	

Appendix B

Site Photographs

Appendix B - Site Photographs

1.



2.



3.



4.

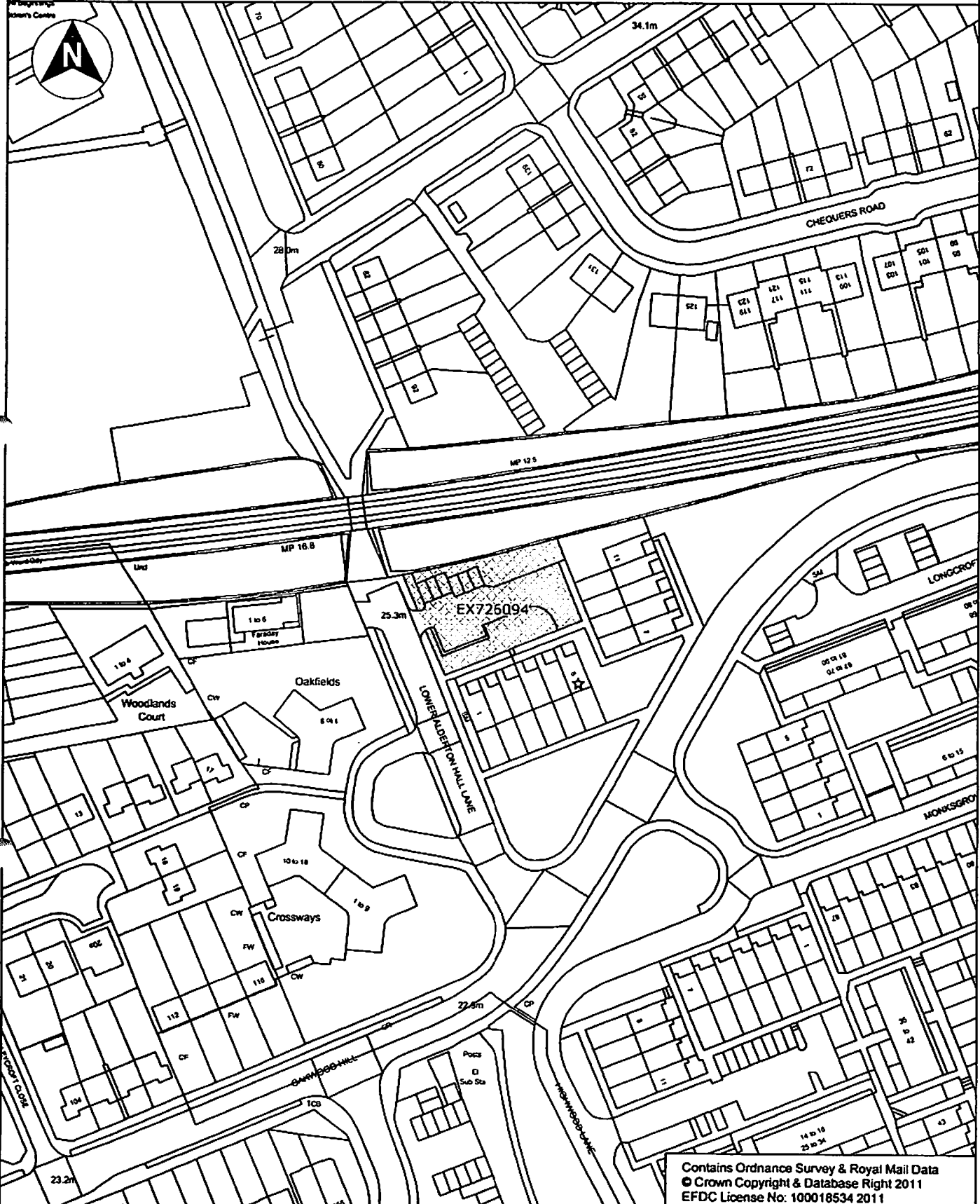


5.



Appendix C

Existing Site Plan



Contains Ordnance Survey & Royal Mail Data
 © Crown Copyright & Database Right 2011
 EFDC License No: 100018534 2011

Directorate of Environment & Street Scene Civic Offices High Street Epping, Essex, CM16 4BZ Tel. 01992 584000	Project Potential Site for Council House Building Program Drawing No. 201206014 - AO	Content Lower Alderton Hall Lane Loughton	Date 04/07/12 Scale 1:1250 @ A4 Drawn By Robert Irwin
--	--	---	--

Appendix D

Statutory Services Information

Adam Greenhalgh
Pellings
24 Widmore Road
Bromley
Kent
BR1 1RY

Plant Protection
National Grid
Block 1; Floor 1
Brick Kiln Street
Hinckley
LE10 0NA
E-mail: plantprotection@nationalgrid.com
Telephone: +44 (0)800 688588

National Grid Electricity Emergency Number:
0800 40 40 90*

National Gas Emergency Number:
0800 111 999*

* Available 24 hours, 7 days/week.
Calls may be recorded and monitored.

www.nationalgrid.com

Date: 24/10/2013
Our Ref: NL_TE_Z6_3SW_042149
Your Ref: LOWER ALDERTON HALL LANE

RE: Proposed Works, IG10 3HA, lower alderton hall lane, loughton, essex

Thank you for your enquiry which was received on 17/10/2013.

Please note this response and any attached map(s) are valid for 28 days.

An assessment has been carried out with respect to National Grid Electricity Transmission plc's and National Grid Gas plc's apparatus. Please note it does not cover the items listed in the section "Your Responsibilities and Obligations", including gas service pipes and related apparatus.

For details of National Grid's network areas please see the National Grid website (<http://www.nationalgrid.com/uk/Gas/Safety/work/>) or the enclosed documentation.

As your works are at a "proposed" stage, any maps and guidance provided are for information purposes only. This is not approval to commence work. You must submit a "Scheduled Works" enquiry at the earliest opportunity and failure to do this may lead to disruption to your plans and works. National Grid will endeavour to provide an **initial** assessment within 14 days of receipt of a Scheduled Works enquiry and dependent on the outcome of this, further consultation may be required.

In any event, for safety and legal reasons, works must not be carried out until a Scheduled Works enquiry has been completed and final response received.

Your Responsibilities and Obligations

The "Assessment" Section below outlines the detailed requirements that must be followed when planning or undertaking your scheduled activities at this location.

It is your responsibility to ensure that the information you have submitted is accurate and that all relevant documents including links are provided to all persons (either direct labour or contractors) working for you near National Grid's apparatus, e.g. as contained within the Construction (Design and Management) Regulations.

This assessment solely relates to National Grid Electricity Transmission plc (NGET) and National Grid Gas plc (NGG) apparatus. This assessment does **NOT** include:

- National Grid's legal interest (easements or wayleaves) in the land which restricts activity in proximity to National Grid's assets in private land. You must obtain details of any such restrictions from the landowner in the first instance and if in doubt contact National Grid.
- Gas service pipes and related apparatus
- Recently installed apparatus
- Apparatus owned by other organisations, e.g. other gas distribution operators, local electricity companies, other utilities, etc.

It is **YOUR** responsibility to take into account whether the items listed above may be present and if they could be affected by your proposed activities. Further "Essential Guidance" in respect of these items can be found on the National Grid Website (<http://www.nationalgrid.com/NR/rdonlyres/6D6525F9-59EB-4825-BA89-DBD7E68882C7/51319/EssentialGuidance.pdf>).

This communication does not constitute any formal agreement or consent for any proposed development work; either generally or with regard to National Grid's easements or wayleaves nor any planning or building regulations applications.

NGG and NGET or their agents, servants or contractors do not accept any liability for any losses arising under or in connection with this information. This limit on liability applies to all and any claims in contract, tort (including negligence), misrepresentation (excluding fraudulent misrepresentation), breach of statutory duty or otherwise. This limit on liability does not exclude or restrict liability where prohibited by the law nor does it supersede the express terms of any related agreements.

If you require further assistance please contact the National Grid Plant Protection team via e-mail ([click here](#)) or via the contact details at the top of this response.

Yours faithfully

National Grid Plant Protection Team

ASSESSMENT

Affected Apparatus

The National Grid apparatus that has been identified as being in the vicinity of your proposed works is:

- Low or Medium pressure (below 2 bar) gas pipes and associated equipment. (As a result it is highly likely that there are gas services and associated apparatus in the vicinity)

Requirements

BEFORE carrying out any work you must:

- Carefully read these requirements including the attached guidance documents and maps showing the location of National Grid apparatus.
- Contact the landowner and ensure any proposed works in private land do not infringe National Grid's legal rights (i.e. easements or wayleaves). If the works are in the road or footpath the relevant local authority should be contacted.
- Ensure that all persons, including direct labour and contractors, working for you on or near National Grid's apparatus follow the requirements of the HSE Guidance Notes HSG47 - 'Avoiding Danger from Underground Services' and GS6 - 'Avoidance of danger from overhead electric power lines'. This guidance can be downloaded free of charge at <http://www.hse.gov.uk>
- In line with the above guidance, verify and establish the actual position of mains, pipes, cables, services and other apparatus on site before any activities are undertaken.

GUIDANCE

Excavating Safely - Avoiding injury when working near gas pipes:

http://www.nationalgrid.com/NR/rdonlyres/2D2EEA97-B213-459C-9A26-18361C6E0B0D/25249/Digsafe_leaflet3e2finalamends061207.pdf

Standard Guidance

Essential Guidance document:

<http://www.nationalgrid.com/NR/rdonlyres/6D6525F9-59EB-4825-BA89-DBD7E68882C7/51319/EssentialGuidance.pdf>

General Guidance document:

<http://www.nationalgrid.com/NR/rdonlyres/55C13C4D-A1AA-4B13-BFDA-1CF59F88B326/51318/GeneralGuidance.pdf>

Excavating Safely in the vicinity of gas pipes guidance (Credit card):

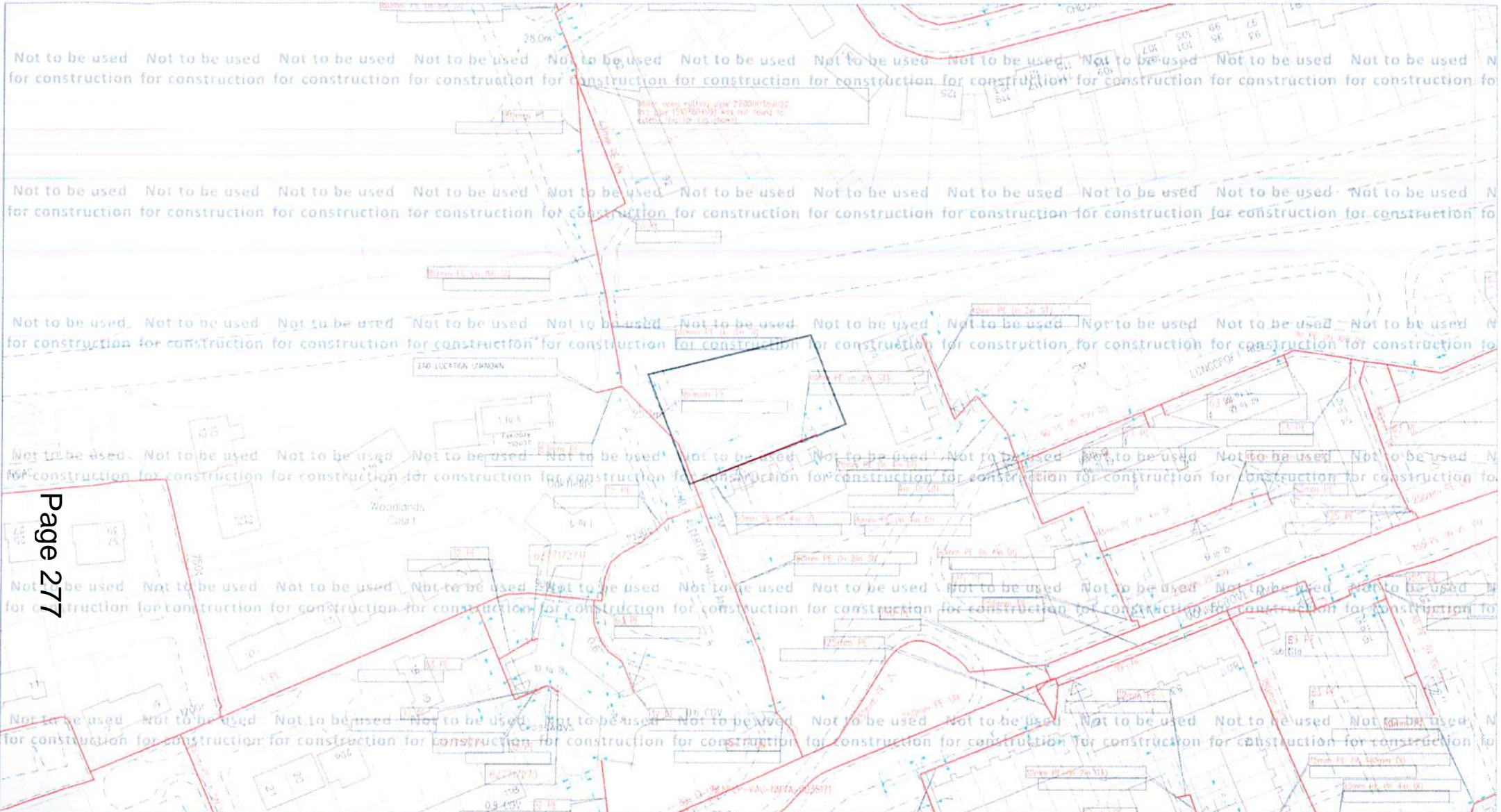
<http://www.nationalgrid.com/NR/rdonlyres/A3D37677-6641-476C-9DDA-E89949052829/44257/ExcavatingSafelyCreditCard.pdf>

Excavating Safely in the vicinity of electricity cables guidance (Credit card):

<http://www.nationalgrid.com/NR/rdonlyres/35DDEC6D-D754-4BA5-AF3C-D607D05A25C2/44858/ExcavatingSafelyCreditCardelectricitycables.pdf>

Copies of all the Guidance Documents can also be downloaded from the National Grid Website:

<http://www.nationalgrid.com/uk/Gas/Safety/work/downloads/>



Page 277

ID: NL_TE_Z6_3SW_042149		View extent: 361m, 196m		Map not to be used for construction		Map 1 of 1 (GAS)	
USER: roy.x.jones		LP MAINS		<p>This plan shows those pipes owned by National Grid Gas plc in its role as a Licensed Gas Transporter (GT). Gas pipes owned by other GTs, or otherwise privately owned, may be present in this area. Information with regard to such pipes should be obtained from the relevant owners. The information shown on this plan is given without warranty, the accuracy thereof cannot be guaranteed. Service pipes, valves, syphons, stub connections, etc., are not shown but their presence should be anticipated. No liability of any kind whatsoever is accepted by National Grid Gas plc or their agents, servants or contractors for any error or omission. Safe digging practices, in accordance with HS(G)47, must be used to verify and establish the actual position of mains, pipes, services and other apparatus on site before any mechanical plant is used. It is your responsibility to ensure that this information is provided to all persons (either direct labour or contractors) working for you on or near gas apparatus. The information included on this plan should not be referred to beyond a period of 28 days from the date of issue.</p>			
DATE: 24/10/2013		MP MAINS					
DATA DATE: 15/10/2013		IP MAINS					
REF: LOWER ALDERTON HALL LAN		LHP MAINS					
MAP REF: TQ4395		NHP MAINS					
CENTRE: 543325, 195708		 Approximate scale 1:1250 on A4 Colour Landscape		MAPS Plot Server Version 1.7.6 		Requested by: Pellings This plan is reproduced from or based on the OS map by National Grid Gas plc, with the sanction of the controller of HM Stationery Office. Crown Copyright Reserved. Ordnance Survey Licence number 100024886	
Valve Depth of Cover Syphon Diameter Change Material Change							

Adam Greenhalgh

From: SPHatfield <SPHatfield@environment-agency.gov.uk>
Sent: 23 October 2013 17:49
To: Adam Greenhalgh
Subject: RE: Epping Forest DC - potential development sites

Dear Adam,

Further to your letters dated 16 October (your ref: AG/dh/612.023/05), we have the following comments to make on the specific sites listed below (please note that comments on three sites – Rear of shops, Loughton Way, Buckhurst Hill; Pentlow Way, Buckhurst Hill and Site B, Marlescroft Way, Loughton – will follow on or before 7 November due to additional site constraints).

Sites: Burton Road, Debden
White Hills, Loughton
Thatchers Close, Loughton
Site A, Pyries (**note:** should be 'Pyrles') Lane, Loughton
Site B, Pyries (**note:** should be 'Pyrles') Lane, Loughton
Site A, Chequers Road, Loughton
Site B, Chequers Road, Loughton
Site A, Langley Meadow, Loughton
Site B, Langley Meadow, Loughton
Hornbeam Close, Buckhurst Hill
Hornbeam House, Hornbeam Road, Buckhurst Hill
Bourne House, Hornbeam Road, Buckhurst Hill
Bushfields, Loughton
Etheridge Road, Loughton
Lower Alderton Hall Lane, Loughton
Ladyfields, Loughton
Kirby Close, Loughton
Chester Road, Loughton
Hillyfields, Loughton

Comments

As we are in an area of serious water stress, we endorse the efficient use of water resources. Residential developments such as your proposal should take advantage of water efficient technologies. This is in line with Epping Forest's local policy CP5 which states that the efficient use of water is encouraged through water efficient appliances and rainwater harvesting for example.

We suggest you use water efficiency measures and aim to achieve 105 litres/person/day. This is equivalent to level 3/4 for water within the Code for Sustainable Homes. Achieving this standard within new homes can be accomplished at very little additional cost, and is significantly cheaper than retrofitting such measures later.

Every opportunity should be taken to maximise Sustainable Drainage Systems (SuDS) such as green roofs, ponds, swales and permeable pavements, to alleviate surface water runoff. I have attached a copy of our SuDS guidance, which contains the SuDS hierarchy, to help you with your designs. The methods at the top of the hierarchy are preferred because they are beneficial in terms of sustainability and biodiversity. The hierarchy should be used in descending order. Tanks should only be used as a last resort. Epping Forest's local policy U3B on sustainable drainage systems advocates this approach.

As the sites are all under a hectare in Flood Zone 1, they fall within cell F5 of our Flood Risk Standing Advice consultation matrix. Epping Forest Local Planning Authority will therefore be responsible for assessing flood risk at these sites.

Kind regards,

Clark Gordon
Sustainable Places Planning Advisor
Environment Agency
North East Thames Area - Hatfield Team
01707 632308



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www.environment-agency.gov.uk/climate-ready

🖨️ please consider the environment - do you really need to print this email?

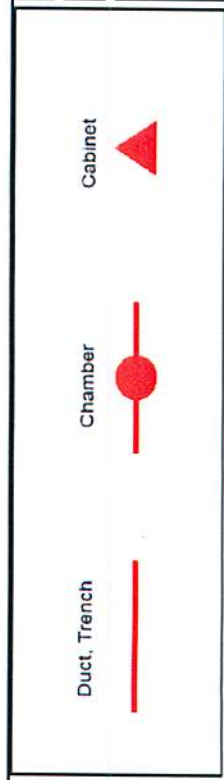
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We may have to make this message and any reply to it public if asked to under the Freedom of Information Act, Data Protection Act or for litigation. Email messages and attachments sent to or from any Environment Agency address may also be accessed by someone other than the sender or recipient, for business purposes.



agreenhalgh@pellings.co.uk



Important information - please read
 The purpose of this plan is to identify Virgin Media apparatus. We have tried to make it as accurate as possible but we cannot warrant its accuracy. In addition, we caution that within Virgin Media apparatus, power cables have been placed inside green, rather than black ducting. Further details can be found using the 'Affected Postcode PDF', which can be downloaded from this website.
 Therefore, you must not rely solely on this plan if you are carrying out any excavation or other works in the vicinity of Virgin Media apparatus. The actual position of any underground service must be verified by cable detection equipment, etc. and established before any excavation or other works are carried out. Accordingly, unless it is due to the negligence of Virgin Media, its employees or agents, Virgin Media will not be liable for any loss or damage to property or for any loss or damage to equipment caused or arising from the use of and/or any reliance on the plan.
 This plan is produced by Virgin Media Limited from Ordnance Survey © Crown Copyright, 100019209



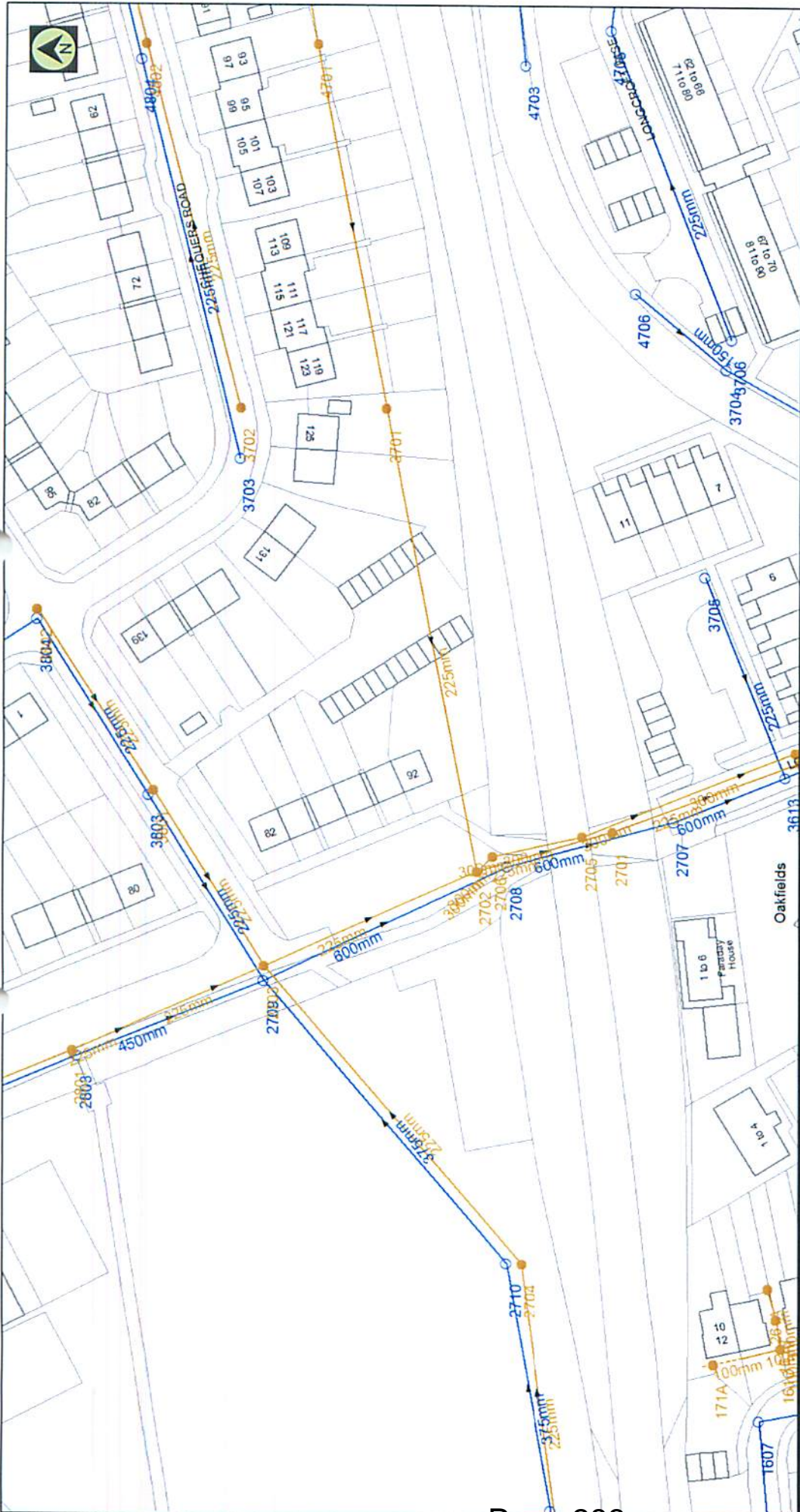
(c) Crown Copyright and database rights 2012 Ordnance Survey 100019345 Date: 23/10/13 Scale: 1:1083 Map Centre: 543308,195763.3 Data updated: 16/08/13 Clean Water Plan A4

Based on the Ordnance Survey Map with the sanction of the Controller of H.M. Stationary Office License Number:- 100019345. This map is to be used for the purposes of viewing the location of Thames Water plant only. Any other uses of the map data or further copies are not permitted. The position of the apparatus shown on this plan is given without obligation and warranty, and the accuracy cannot be guaranteed. This information is valid for the date printed. Service pipes are not shown but their presence should be anticipated. No liability of any kind whatsoever is accepted by Thames Water for any error or omission. The actual position of mains and services must be verified on site before any works are undertaken.

Water Main		Meter	
Private Water		Valve	
Proposed Water		Hydrant	
Abandoned Asset		End Item	

agreenhaigh@pellings.co.uk

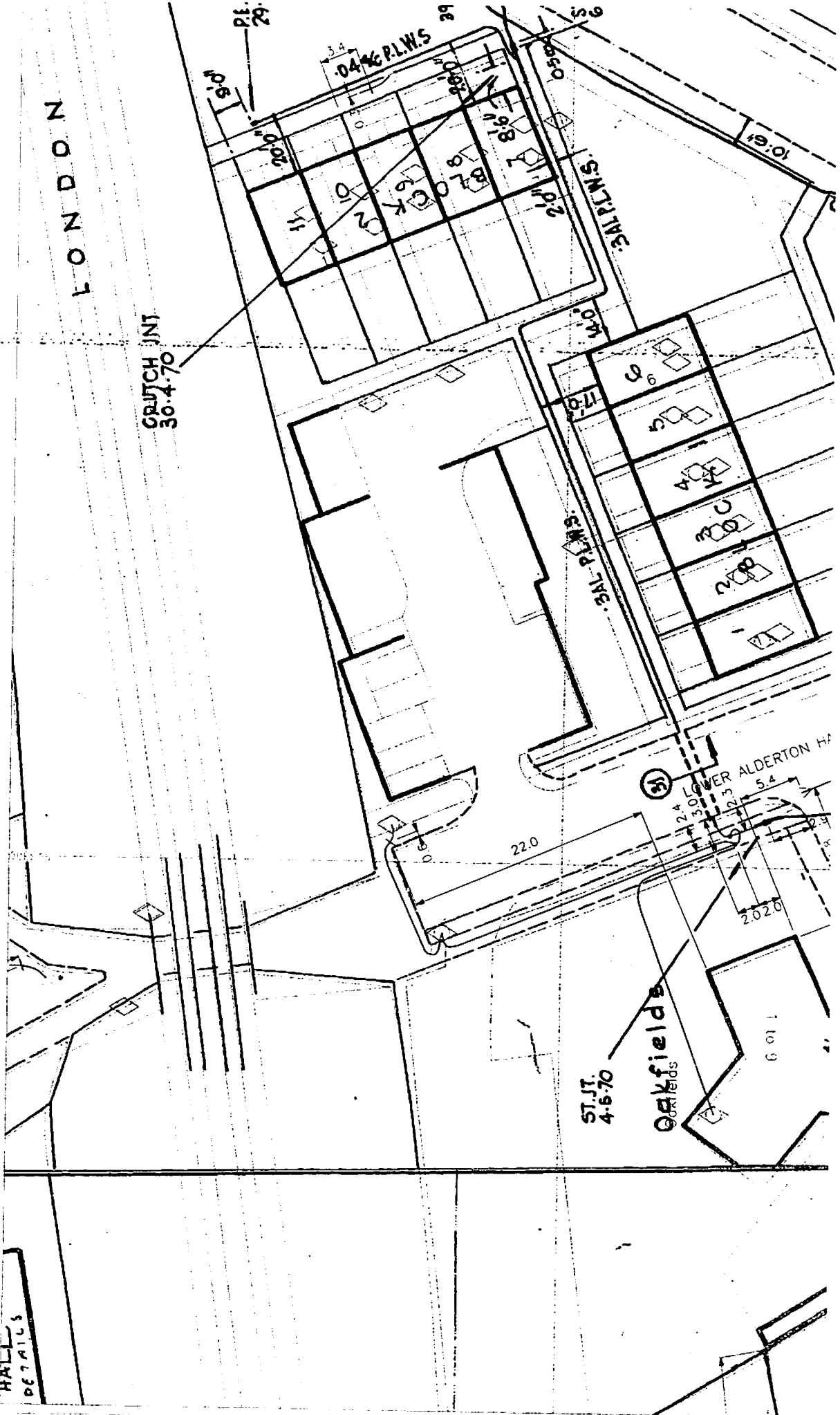




agreenhalgh@pellings.co.uk

	Foul Manhole
	Surface Manhole
	Combined Manhole
	Abandoned Manhole
	Other Manhole
	End Item
	S104 Boundary
	Foul Sewer
	Surface Sewer
	Combined Sewer
	Abandoned Sewer
	Pressure Main
	Private Asset (Colour denotes effluent type)
	Proposed Asset (Colour denotes effluent type)

Based on the Ordnance Survey Map with the sanction of the Controller of H.M. Stationary Office License Number:- 100019345. This map is to be used for the purposes of viewing the location of Thames Water plant only. Any other uses of the map data or further copies are not permitted. The position of the apparatus shown on this plan is given without obligation and warranty, and the accuracy cannot be guaranteed. This information is valid for the date printed. Service pipes are not shown but their presence should be anticipated. No liability of any kind whatsoever is accepted by Thames Water for any error or omission. The actual position of mains and services must be verified on site before any works are undertaken.



Appendix E

Information on Possible Contamination

Information on possible contamination has been forwarded by Epping Forest District Council by way of email of 22nd May 2013, giving information on potential contamination across all the primary sites.

This clarifies possible ground contamination derived from asbestos, made ground, hydrocarbons, petroleum hydrocarbons and the like.

It is likely that any Planning Consent will carry a Condition that all contamination issues are to be remediated.

Accordingly, we recommend that initial site investigation is undertaken for all sites that move forward to Planning Applications.

Appendix F

Cost Build-up

Gross Internal floor area	m2	ft2
Affordable Flat Units	0	0
Allowance for communal space @ 20%	0	0
Affordable House Units	154	1,658
TOTAL GIA	154	1,658

Item	Element	Qty Unit	Rate £/unit	Total £
1.0 Demolition				
1.1	Demolition	78 m ²	50	3,922
2.2	Site clearance	830 m ²	10	8,299
1.2	Allowance for removal of asbestos	6 No	800	4,800
	Sub-total		say	20,000
2.0 Affordable Flat units (xx nr. units)				
2.1	Flats Private areas	0 m ²	1,350	0
2.2	Flats communal areas (20% allowed)	0 m ²	900	0
	Sub-total		say	0
3.0 Affordable House units (02 nr. units)				
3.1	House areas	154 m ²	1,250	193,000
	Sub-total		say	190,000
4.0 Abnormals / E/o and External Works				
4.1	Private gardens (incl. fencing)	171 m ²	40	7,000
4.2	Communal Gardens	172 m ²	30	5,000
4.3	Access road, parking and turning	475 m ²	65	31,000
4.4	Pedestrian paving	0 m ²	50	Incl.
4.5	Cross over / highways adaptations	2 item	2,000	4,000
4.6	Allowance for contaminated ground	0 item		Excl.
4.7	Boundary treatment (fencing/walls)	126 m	160	20,000
4.8	Allowance for achieving CfSh Level 3	2 nr	4,500	9,000
	Sub-total		say	80,000
		£/m2	£/ft2	
INDICATIVE CONSTRUCTION COST				290,000
CONTINGENCY @ 5%				10,000
CONTRACTORS DESIGN FEES @ 8%				24,000
PRELIMS AND OVERHEADS AT 15%				43,500
TOTAL INDICATIVE CONSTRUCTION COST				367,500

Clarifications and Assumptions

Estimate based on Pellings Feasibility drawings and standard ETG specifications

GIA is approximate due to early stage of design

Costs are based on a Q3 2014 start on site

Costs are based on a Single Stage Competitive D&B procurement route

Costs are based on a Contractor 'best programme' contract period

All units assumed to achieve Code for sustainable Homes Level 3

It is assumed that a traditional construction (concrete strip foundations, brick/block walls, timber floor structure, sloped tiled roofs) will be used

Contractors design fees are based upon appointment with planning consent under JCT D&B contract

Assumed no Party Wall or Rights of Lights issues

Exclusions

Clients professional fees (including statutory fees)

VAT

Hazardous material removal

Excludes any off-site works

Provision of loose fittings and furnishings

Costs of compliance of any conditions imposed by TFL or other statutory bodies

Costs of Section 106, S108, S278 Agreement(s) or Community Infrastructure Levy charges

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**East Thames Housing / Epping Forest District Council
Housing Delivery Programme**

Feasibility Report

Site: 51-70 (Garages) Bushfields, Loughton IG10 3JR

Rev: A

Ref: IJC/srs/612.023
Date: September 2014

Contents

1. Introduction and Confirmation of Brief
2. Existing Site and Surroundings
3. Proposals
4. Planning Issues and Risks
5. Impact/Implications of Statutory Services
6. Site Access and Buildability Issues
7. Neighbourly Matters and Party Walls
8. Proposed Procurement Route
9. Impact on Parking
10. Legals
11. Costs
12. Recommendations and Conclusions

Appendices

- A: Development Proposals – Drawings 612.023/P2-9A
- B: Site Photographs
- C: Existing Site Plan 201206014-AW
- D: Statutory Services Information
- E: Information on Possible Contamination
- F: Cost Build-up

1.0 Introduction and Confirmation of Brief

- 1.1. Pellings LLP are appointed as part of East Thames Group Technical Team in respect of delivery of Development Agent services to Epping Forest District Council for a six year housing delivery programme.
- 1.2. Following initial appraisal by EFDC, 59 sites have been identified as having possible development potential, with a further number of sites in reserve.
- 1.3. Pellings LLP have been instructed to progress feasibility studies to all 59 sites and which will assist in establishing the extent and timing of the overall programme.
- 1.4. Our instructions are in accordance with our fee tender of 13 August 2012, against the previously prepared tender documentation, and email confirmation of 9 April 2013.

2.0 Existing Site and Surroundings

- 2.1. The site is located in a residential area half a mile to the west of Debden station.
- 2.2. The site consists of 21 single garages and hardstanding with narrow access. There are a small number of trees on or overhanging the boundaries. It is situated on one side of a close of 11 two bedroom terraced houses, none of which appear to have any parking spaces immediately associated with them. The surrounding area is residential but it consists of a range of architectural styles. There are two, three and four storey houses and flats, some brick built and some concrete panelled, with both flat and pitched roofs.
- 2.3. As indicated below, there is a foul sewer crossing the Southern part of the site.
- 2.4. The site backs on to the railway line.
- 2.5. There is the possibility of a private garage (different style to the remainder) built on the North West corner of the site.
- 2.6. The site is accessed from the rear of a number of the existing house, and the legal position of such access should be checked.

3.0 Proposals

- 3.1. Read in conjunction with drawings 612.023.P2-9A attached at Appendix A.
- 3.2. The proposals are :

Erection of a 2 x two storey 2 bedroom detached houses each with gardens
Provision of 6 parking spaces and access/landscaping
- 3.3. The proposals endeavour to take account of the issues highlighted above, although vehicular access from the rear of No. 125 has been lost.

4.0 Planning Issues and Risks

Relevant Planning Policies/Considerations

- 4.1. The adopted Development Plan for Epping Forest District Council is the Combined Local Plan 1998 and Local Plan Alterations 2006.

- 4.2. The site is not located in a Conservation Area and it is not designated for any particular purposes in the Epping Forest District Council Combined Local Plan 1998 and Local Plan Alterations 2006. The site does not lie in a Flood Zone on the Environment Agency Flood Map.
- 4.3. There are no specific policies which prevent the loss of existing garages although policy ST4 (Road Safety) states that planning permission will only be granted where there will be no adverse effects on the highway, traffic congestion or harm to the character or appearance of the area. Parking spaces to meet with the Council's standards are proposed for the new dwellings.
- 4.4. It will be necessary to undertake a Parking Survey and to prepare a Transport Statement to demonstrate that the loss of the garages and proposed development would not cause any parking shortfalls or harm to highway conditions or the amenities of the area.
- 4.5. The site is located in the settlement of Loughton and the proposal would be consistent with policy CP7 which encourages the efficient use of existing built-up areas by the 'recycling of vacant, derelict, degraded and under-used land to accommodate the development' and the 're-use of urban sites, which are no longer appropriate to their existing or proposed use in the foreseeable future, for alternative land uses'.
- 4.6. The proposal would comply with policy H4A which states the need for a range of dwellings, including an appropriate proportion of smaller dwellings, to meet identified housing need on a site-by-site basis.
- 4.7. The development of small family homes with rear gardens and private and communal parking would be in keeping with the character and appearance of the area and may comply with Epping Forest's design policies and guidance.

5.0 **Impact/Implications of Statutory Services**

- 5.1. We have undertaken statutory services enquiries to the following:
- Southern Gas
 - Cable and Wireless
 - Virgin Media
 - Thames Water
 - BT
 - National Grid
 - Scottish and Southern Energy
 - Environment Agency
 - UK Power Networks
- 5.2. Responses received to date are from the Environment Agency, National Grid, UK Power Networks, Virgin Media and Thames Water.
- 5.3. The Environment Agency has not pointed out any watercourses which cross the site.
- 5.3.1. National Grid: No apparatus appears to be located on the site.
- 5.3.2. UK Power Networks: There do not appear to be any installations on the site.
- 5.3.3. Virgin Media: No apparatus appears to be located on the site.

- 5.4. Thames Water: A foul sewer transverses the southern side of the site, and it is possible that Thames Water may require a 6m easement zone for maintenance access.
- 5.5. It should be noted there are a number of responses to enquiries that, at time of preparation of this report, have not yet been received.
- 5.6. As indicated above, proposals endeavour to take account of existing services running across the site.

6.0 **Site Access and Buildability Issues**

- 6.1. The site is accessed from existing site roads and there would not appear to be any particular difficulties for the normal level and size of construction traffic associated with a development of this nature.
- 6.2. Areas should be available for contractor's site set up and accommodation.
- 6.3. The site is within a primarily residential area, with also some retail elements nearby and, accordingly, any appointed contractor should use all best endeavours to act in a considerate manner and within normal working hours.
- 6.4. Further to initial enquiries made to EFDC, some potential contamination issues have been highlighted with use of the domestic garages, and also a former horticultural nursery. Possible contaminants in respect of the former use as a nursery are summarised and indicated within the note produced by EFDC Planning and Economic Development Directorate at Appendix E.
- 6.5. Possible contaminants in respect of the previous use of the garage site may include asbestos, ash and clinker, hydro-carbons from vehicle maintenance and the like.
- 6.6. Accordingly, suitable site investigation will need to be undertaken ahead of any proposals to take this site forward and specific recommendations made to deal with any contamination found, whether by capping or removal from site.
- 6.7. The site is accessed by way of a narrow driveway and as at present, our proposals do not include a turning head for refuse or emergency vehicles. Accordingly, subject to detailed design, an independent refuse storage area may be required along with sprinkler provision to the new houses for fire protection.

7.0 **Neighbourly Matters and Party Walls**

- 7.1. As above, the proposed development site is within a primarily residential area and the appointed contractor should act in a considerate manner. It is proposed that restrictions on working hours, noise levels, requirement for resident liaison and similar matters will be included within contract documentation.
- 7.2. From proposals on Drawing 612.023/P2-9 it is not considered that Party Wall matters will be relevant.
- 7.3. We would recommend approach to Network rail to identify any particular requirements that might affect proposals.

8.0 **Proposed Procurement Route**

- 8.1. It is understood that development works will be procured by way of the East Thames Housing Group existing contractor framework arrangements.

- 8.2. It is proposed that works shall be procured on a Design and Build basis with the contractors taking forward RIBA Stage D planning consent drawings into detailed design and construction delivery on site.
- 8.3. Schemes shall be designed to a set of Employer's Requirements to be subsequently confirmed but which substantially shall be formed from existing East Thames Housing Group Design Standards and Employer's Requirement documentation.
- 8.4. It is proposed that all site preparation works will be included within individual contract packages including any required demolitions, adjustment of statutory services, highways works and boundary maintenance/reinstatement/provision.
- 8.5. On completion of the feasibility studies for the whole programme, further recommendations will be made in terms of how works are packaged to ensure size of work packages are optimised for ensuring maximum economies for East Thames Housing Group and EFDC.
- 8.6. It is considered, at this stage, that this may be by way of a mix of different sized contractors dependent upon the numbers and geographical location of individual works packages.
- 8.7. Works will be administered by Pellings LLP as Employer's Agent acting in accordance with East Thames Housing Group terms of appointment and the overarching requirements of the Development Agency agreement.

9.0 **Impact on Parking**


- 9.1. The Council's currently adopted parking standards are contained within Essex County Council's Parking Standards Design and Good Practice Guide – September 2009. These revised standards were adopted by the Council as statutory planning guidance in February 2012.
- 9.2. Flats and houses have the same parking standard as follows:
- 1 bedroom accommodation – 1 space per dwelling
 - 2 bedroom accommodation and above – 2 spaces per dwelling
 - Visitor parking – 0.25 spaces per dwelling (rounded up to the nearest whole number)
- 9.3. The proposals would appear to more than meet the Council's parking standards for new development.
- 9.4. However, should the site move forward to planning application stages, it is recommended that a Transport Statement be undertaken, including parking surveys, to demonstrate that the loss of the garages will not give rise to any planning or highway problems.

10.0 **Legals**

- 10.1. We have been provided with a Summary Report of legal matters from EFDC Solicitors. The report makes reference to the suggested appropriation of land for planning purposes which would extinguish any prior rights of way.
- 10.2. The report makes reference to possible rights of light risk. A blanket policy against such risk might be considered.

- 10.3. There is vehicular access into the site from the rear of 127/131 Chequers Road and the Housing Management Report advises that there are licences in place for this access.
- 10.4. The Legals Report advises that one of these licences has lapsed and the other an be terminated with one months' notice.
- 10.5. One of the garages appears to be in use by the owners of 88 Alderton Hall Lane. This is indicated as a private garage on the Housing Management Report, however this is not highlighted to be outside of the scope of the title of the site as indicated within the Legals Report and requires clarification. This garage and access to it is maintained, in any event, within Pellings proposals.
- 10.6. It is further noted that the small 'lay by' in front of No. 137 Bushfields is in fact within the ownership of 137 and not within EFDC title. We would not consider that this would have any effect on the development options for the site.
- 11.0 **Costs**
- 11.1. It is considered that a budget of £402,900.00 should be allowed for this scheme, inclusive of contractor design fees, but exclusive of professional fees and VAT. Please refer to Appendix F.
- 12.0 **Recommendations and Conclusions**
- 12.1. Subject to an overall lifetime cost appraisal, we conclude that the site appears to have economic development opportunities and we recommend is considered for taking forward to planning application stage, with a view to incorporating into the overall programme.

Signed:



Pellings LLP

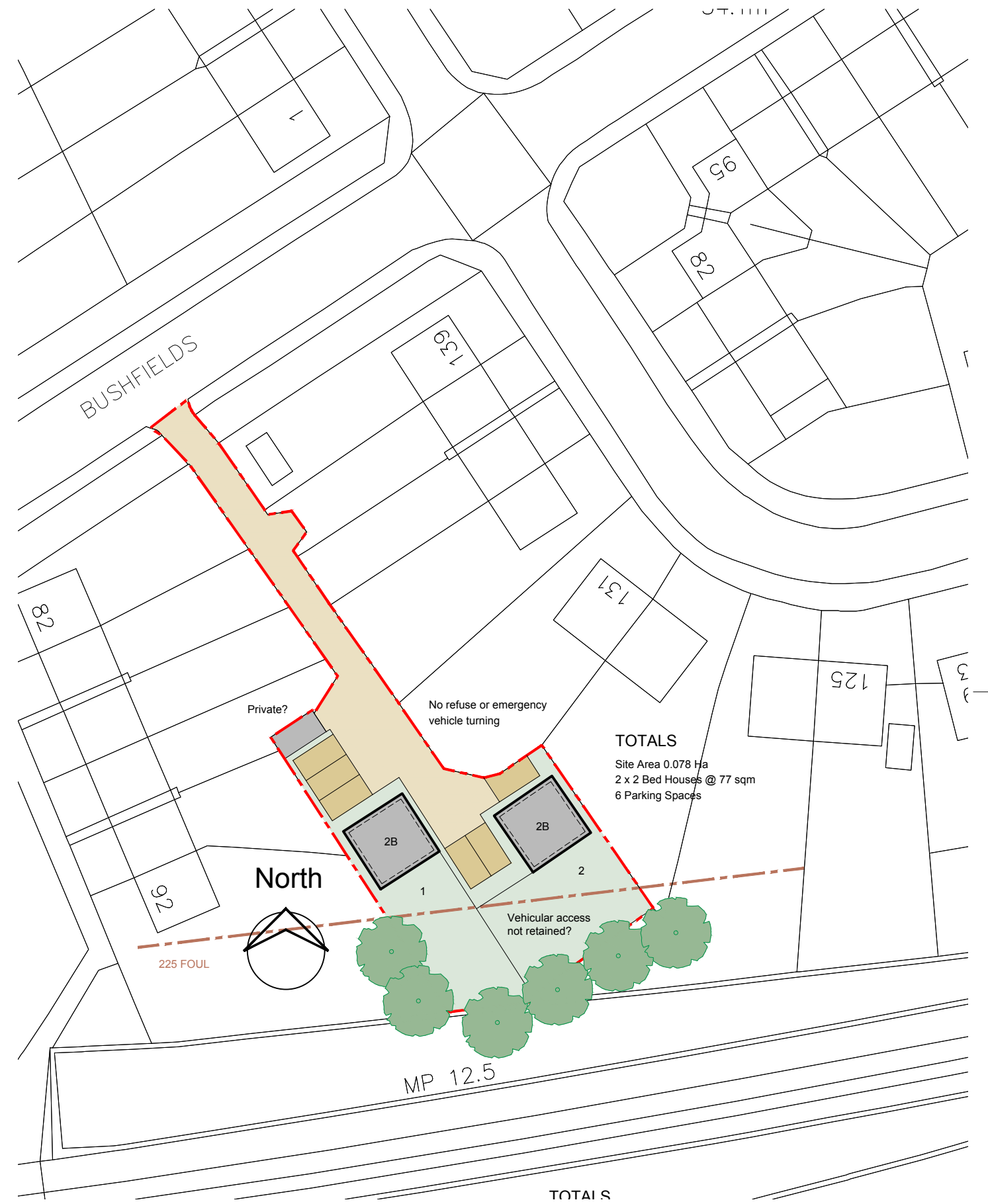
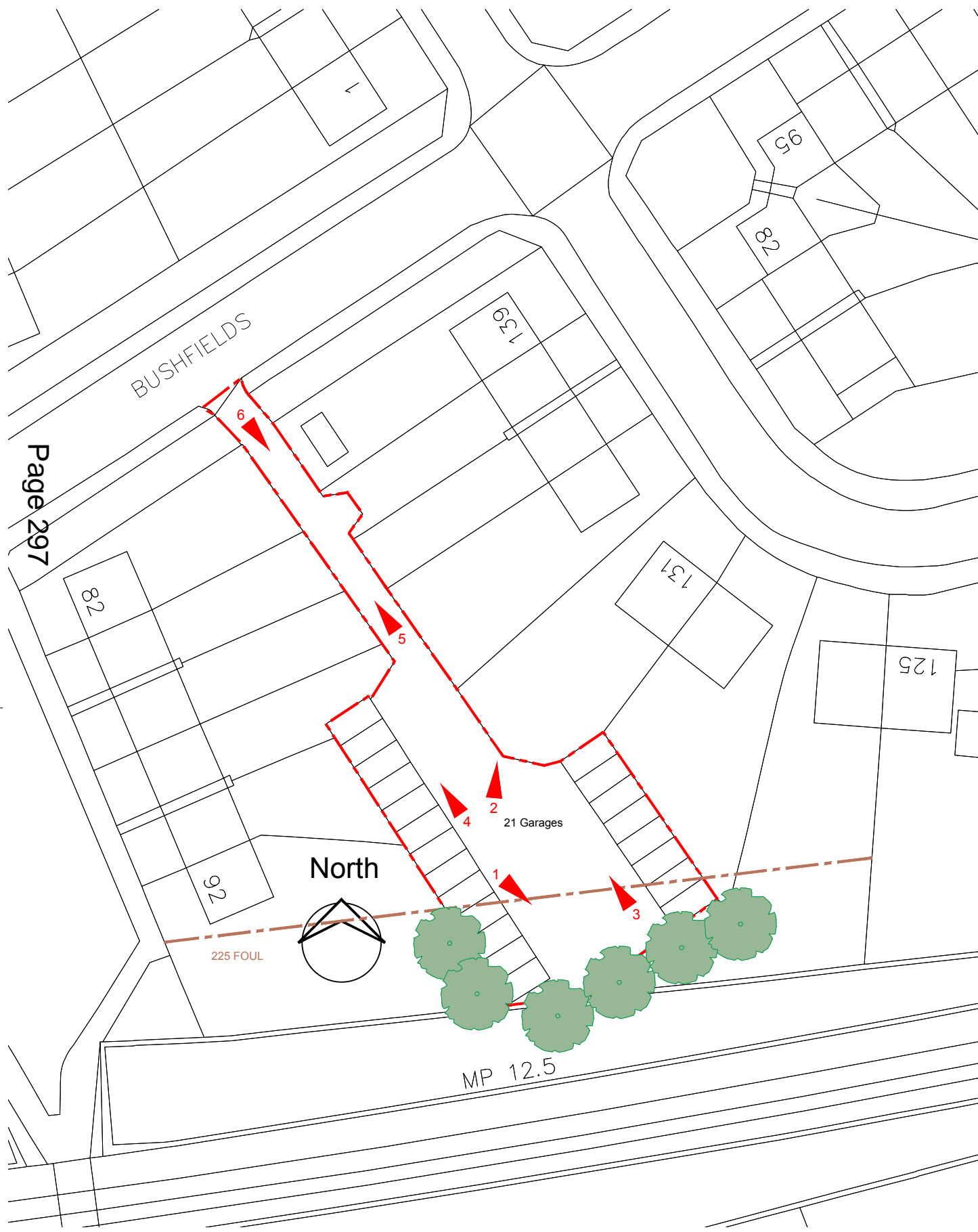
Date:

1st October 2014

Appendix A

Development Proposals

Drawings 612.023.P2-8A



TOTALS
 Site Area 0.078 Ha
 2 x 2 Bed Houses @ 77 sqm
 6 Parking Spaces

NOTES:
 Report all discrepancies, errors and omissions
 Do not scale from this drawing.
 Verify all dimensions on site before commencing any work or preparing shop drawings.
 All materials, components and workmanship are to comply with all the relevant British Standards, Codes of Practice, and appropriate manufacturers recommendations that from time to time shall apply.
 For all specialist work, see relevant drawings.
 This drawing and design are copyright of PELLINGS LLP

PRELIMINARY

Rev	Date	Description	Name
-	-/-/-		

Pellings LLP
 24 Widmore Road Bromley Kent BR1 1RY
 t 020 8460 9114 f 020 8313 0019 e bromley@pellings.co.uk
 www.pellings.co.uk

Architecture & Planning ■ Building Surveying ■ Project Management ■
 Cost Consultancy ■ CDM Co-ordination

CLIENT East Thames HA		PROJECT EFDC House Building Programme			
TITLE Existing and Proposed Plans Bushfields		DATE NOV 2013	SCALE 1:500 @A3	DRAWN NP	CHK
		DRAWING No 612 023 P2-9			A

Appendix B

Site Photographs

Appendix B - Site Photographs

1.



2.



3.



4.



5.



6.



Appendix C

Existing Site Plan



Contains Ordnance Survey & Royal Mail Data
 © Crown Copyright & Database Right 2011
 EFDC License No: 100018534 2011

Directorate of Environment & Street Scene
 Civic Offices
 High Street
 Epping, Essex,
 CM16 4BZ
 Tel. 01992 564000

Project
 Potential Site for Council House
 Building Program
 Drawing No.
 201206014 - AW

Content
 Bushfields
 Loughton

Date
 04/07/12
 Scale
 1:1250 @ A4
 Drawn By
 Robert Irwin

Appendix D

Statutory Services Information

Adam Greenhalgh
Pellings
24 Widmore Road
Bromley
Kent
BR1 1RY

Plant Protection
National Grid
Block 1; Floor 1
Brick Kiln Street
Hinckley
LE10 0NA
E-mail: plantprotection@nationalgrid.com
Telephone: +44 (0)800 688588

National Grid Electricity Emergency Number:
0800 40 40 90*

National Gas Emergency Number:
0800 111 999*


* Available 24 hours, 7 days/week.
Calls may be recorded and monitored.

www.nationalgrid.com

Date: 23/10/2013

Our Ref: NL_TE_Z6_3SW_041954

Your Ref: Bushfields. la079


 RE: Proposed Works, IG10 3HD, Bushfields, Loughton

Thank you for your enquiry which was received on 17/10/2013.

Please note this response and any attached map(s) are valid for 28 days.

An assessment has been carried out with respect to National Grid Electricity Transmission plc's and National Grid Gas plc's apparatus. Please note it does not cover the items listed in the section "Your Responsibilities and Obligations", including gas service pipes and related apparatus.

For details of National Grid's network areas please see the National Grid website (<http://www.nationalgrid.com/uk/Gas/Safety/work/>) or the enclosed documentation.

 As your works are at a "proposed" stage, any maps and guidance provided are for information purposes only. This is not approval to commence work. You must submit a "Scheduled Works" enquiry at the earliest opportunity and failure to do this may lead to disruption to your plans and works. National Grid will endeavour to provide an initial assessment within 14 days of receipt of a Scheduled Works enquiry and dependent on the outcome of this, further consultation may be required.

In any event, for safety and legal reasons, works must not be carried out until a Scheduled Works enquiry has been completed and final response received.

Your Responsibilities and Obligations

The "Assessment" Section below outlines the detailed requirements that must be followed when planning or undertaking your scheduled activities at this location.

It is your responsibility to ensure that the information you have submitted is accurate and that all relevant documents including links are provided to all persons (either direct labour or contractors) working for you near National Grid's apparatus, e.g. as contained within the Construction (Design and Management) Regulations.

This assessment solely relates to National Grid Electricity Transmission plc (NGET) and National Grid Gas plc (NGG) apparatus. This assessment does NOT include:

- National Grid's legal interest (easements or wayleaves) in the land which restricts activity in proximity to National Grid's assets in private land. You must obtain details of any such restrictions from the landowner in the first instance and if in doubt contact National Grid.
- Gas service pipes and related apparatus
- Recently installed apparatus
- Apparatus owned by other organisations, e.g. other gas distribution operators, local electricity companies, other utilities, etc.

It is **YOUR** responsibility to take into account whether the items listed above may be present and if they could be affected by your proposed activities. Further "Essential Guidance" in respect of these items can be found on the National Grid Website (<http://www.nationalgrid.com/NR/rdonlyres/6D6525F9-59EB-4825-BA89-DBD7E68882C7/51319/EssentialGuidance.pdf>).

This communication does not constitute any formal agreement or consent for any proposed development work; either generally or with regard to National Grid's easements or wayleaves nor any planning or building regulations applications.

NGG and NGET or their agents, servants or contractors do not accept any liability for any losses arising under or in connection with this information. This limit on liability applies to all and any claims in contract, tort (including negligence), misrepresentation (excluding fraudulent misrepresentation), breach of statutory duty or otherwise. This limit on liability does not exclude or restrict liability where prohibited by the law nor does it supersede the express terms of any related agreements.

If you require further assistance please contact the National Grid Plant Protection team via e-mail ([click here](#)) or via the contact details at the top of this response.

Yours faithfully

National Grid Plant Protection Team

ASSESSMENT

Affected Apparatus

The National Grid apparatus that has been identified as being in the vicinity of your proposed works is:

- Low or Medium pressure (below 2 bar) gas pipes and associated equipment. (As a result it is highly likely that there are gas services and associated apparatus in the vicinity)

Requirements

BEFORE carrying out any work you must:

- Carefully read these requirements including the attached guidance documents and maps showing the location of National Grid apparatus.
- Contact the landowner and ensure any proposed works in private land do not infringe National Grid's legal rights (i.e. easements or wayleaves). If the works are in the road or footpath the relevant local authority should be contacted.
- Ensure that all persons, including direct labour and contractors, working for you on or near National Grid's apparatus follow the requirements of the HSE Guidance Notes HSG47 - 'Avoiding Danger from Underground Services' and GS6 – 'Avoidance of danger from overhead electric power lines'. This guidance can be downloaded free of charge at <http://www.hse.gov.uk>
- In line with the above guidance, verify and establish the actual position of mains, pipes, cables, services and other apparatus on site before any activities are undertaken.

GUIDANCE

Excavating Safely - Avoiding injury when working near gas pipes:

http://www.nationalgrid.com/NR/rdonlyres/2D2EEA97-B213-459C-9A26-18361C6E0B0D/25249/Digsafe_leaflet3e2finalamends061207.pdf

Standard Guidance

Essential Guidance document:

<http://www.nationalgrid.com/NR/rdonlyres/6D6525F9-59EB-4825-BA89-DBD7E68882C7/51319/EssentialGuidance.pdf>

General Guidance document:

<http://www.nationalgrid.com/NR/rdonlyres/55C13C4D-A1AA-4B13-BFDA-1CF59F88B326/51318/GeneralGuidance.pdf>

Excavating Safely in the vicinity of gas pipes guidance (Credit card):

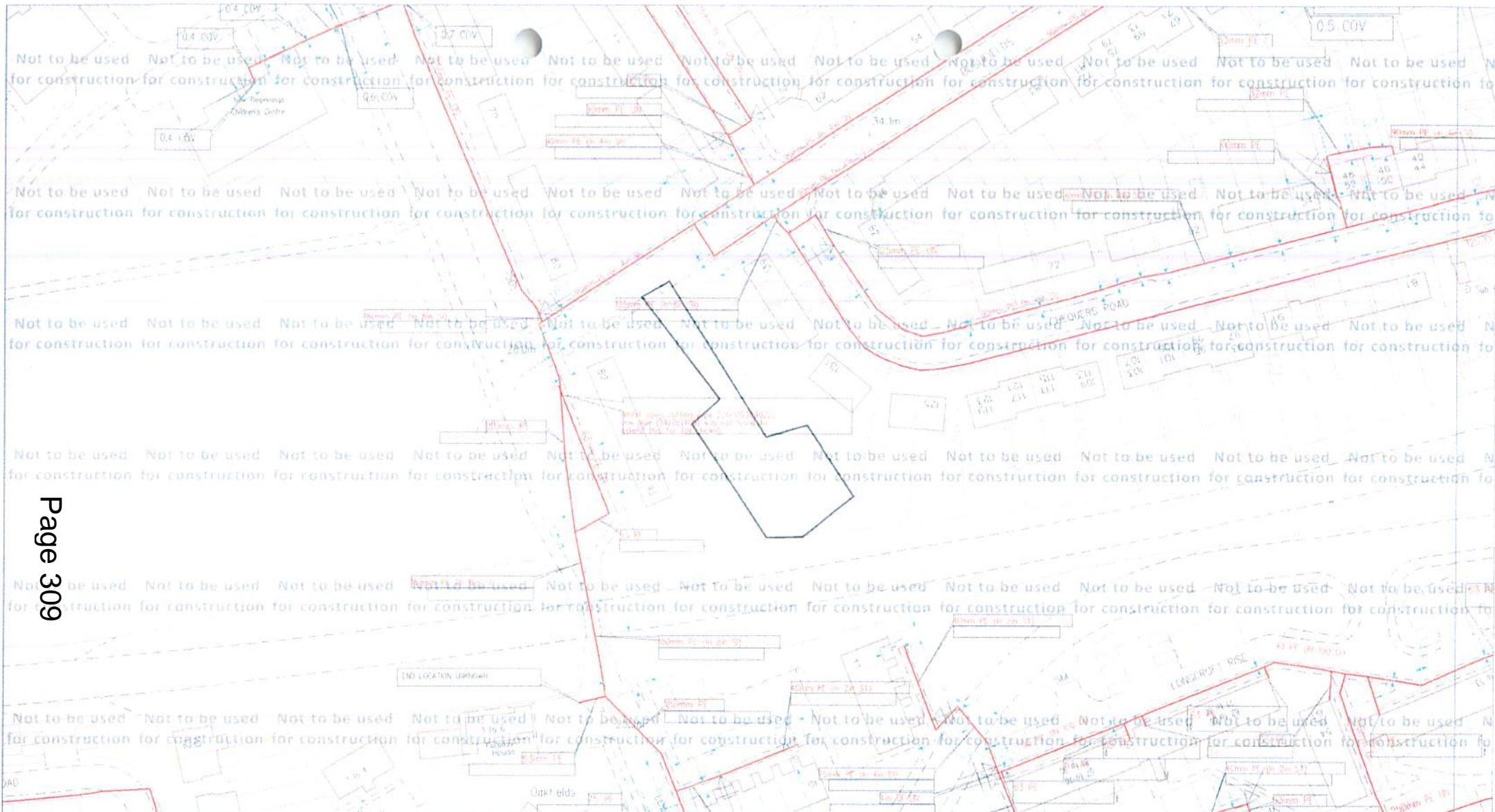
<http://www.nationalgrid.com/NR/rdonlyres/A3D37677-6641-476C-9DDA-E89949052829/44257/ExcavatingSafelyCreditCard.pdf>

Excavating Safely in the vicinity of electricity cables guidance (Credit card):

<http://www.nationalgrid.com/NR/rdonlyres/35DDEC6D-D754-4BA5-AF3C-D607D05A25C2/44858/ExcavatingSafelyCreditCardelectricitycables.pdf>

Copies of all the Guidance Documents can also be downloaded from the National Grid Website:

<http://www.nationalgrid.com/uk/Gas/Safety/work/downloads/>



ID: NL_TE_Z6_3SW_041954
 USER: laura.altenhofen
 DATE: 23/10/2013
 DATA DATE: 15/10/2013
 REF: Bushfields. la079
 MAP REF: TQ4395
 CENTRE: 543329, 195784

View extent: 361m, 196m

LP MAINS	
MP MAINS	
IP MAINS	
LHP MAINS	
NHP MAINS	

0m 25m
 Approximate scale 1:1250
 on A4 Colour Landscape

Map not to be used for construction

This plan shows those pipes owned by National Grid Gas plc in its role as a Licensed Gas Transporter (GT). Gas pipes owned by other GTs, or otherwise privately owned, may be present in this area. Information with regard to such pipes should be obtained from the relevant owners. The information shown on this plan is given without warranty, the accuracy thereof cannot be guaranteed. Service pipes, valves, syphons, stub connections, etc., are not shown but their presence should be anticipated. No liability of any kind whatsoever is accepted by National Grid Gas plc or their agents, servants or contractors for any error or omission. Safe digging practices, in accordance with HS(G)47, must be used to verify and establish the actual position of mains, pipes, services and other apparatus on site before any mechanical plant is used. It is your responsibility to ensure that this information is provided to all persons (either direct labour or contractors) working for you on or near gas apparatus. The information included on this plan should not be referred to beyond a period of 28 days from the date of issue.

Map 1 of 1 (GAS)
 MAPS Plot Server Version 1.7.6

Requested by: Pellings

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Adam Greenhalgh

From: SPHatfield <SPHatfield@environment-agency.gov.uk>
Sent: 23 October 2013 17:49
To: Adam Greenhalgh
Subject: RE: Epping Forest DC - potential development sites

Dear Adam,

Further to your letters dated 16 October (your ref: AG/dh/612.023/05), we have the following comments to make on the specific sites listed below (please note that comments on three sites – Rear of shops, Loughton Way, Buckhurst Hill; Pentlow Way, Buckhurst Hill and Site B, Marlescroft Way, Loughton – will follow on or before 7 November due to additional site constraints).

Sites: Burton Road, Debden
White Hills, Loughton
Thatchers Close, Loughton
Site A, Pyries (**note:** should be 'Pyrles') Lane, Loughton
Site B, Pyries (**note:** should be 'Pyrles') Lane, Loughton
Site A, Chequers Road, Loughton
Site B, Chequers Road, Loughton
Site A, Langley Meadow, Loughton
Site B, Langley Meadow, Loughton
Hornbeam Close, Buckhurst Hill
Hornbeam House, Hornbeam Road, Buckhurst Hill
Bourne House, Hornbeam Road, Buckhurst Hill
Bushfields, Loughton
Etheridge Road, Loughton
Lower Alderton Hall Lane, Loughton
Ladyfields, Loughton
Kirby Close, Loughton
Chester Road, Loughton
Hillyfields, Loughton

Comments

As we are in an area of serious water stress, we endorse the efficient use of water resources. Residential developments such as your proposal should take advantage of water efficient technologies. This is in line with Epping Forest's local policy CP5 which states that the efficient use of water is encouraged through water efficient appliances and rainwater harvesting for example.

We suggest you use water efficiency measures and aim to achieve 105 litres/person/day. This is equivalent to level 3/4 for water within the Code for Sustainable Homes. Achieving this standard within new homes can be accomplished at very little additional cost, and is significantly cheaper than retrofitting such measures later.

Every opportunity should be taken to maximise Sustainable Drainage Systems (SuDS) such as green roofs, ponds, swales and permeable pavements, to alleviate surface water runoff. I have attached a copy of our SuDS guidance, which contains the SuDS hierarchy, to help you with your designs. The methods at the top of the hierarchy are preferred because they are beneficial in terms of sustainability and biodiversity. The hierarchy should be used in descending order. Tanks should only be used as a last resort. Epping Forest's local policy U3B on sustainable drainage systems advocates this approach.

As the sites are all under a hectare in Flood Zone 1, they fall within cell F5 of our Flood Risk Standing Advice consultation matrix. Epping Forest Local Planning Authority will therefore be responsible for assessing flood risk at these sites.


Kind regards,

Clark Gordon
Sustainable Places Planning Advisor
Environment Agency
North East Thames Area - Hatfield Team
01707 632308



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A support service led by the Environment Agency
www.environment-agency.gov.uk/climate-ready

 please consider the environment - do you really need to print this email?

Information in this message may be confidential and may be legally privileged. If you have received this message by mistake, please notify the sender immediately, delete it and do not copy it to anyone else.

We have checked this email and its attachments for viruses. But you should still check any attachment before opening it.

We may have to make this message and any reply to it public if asked to under the Freedom of Information Act, Data Protection Act or for litigation. Email messages and attachments sent to or from any Environment Agency address may also be accessed by someone other than the sender or recipient, for business purposes.



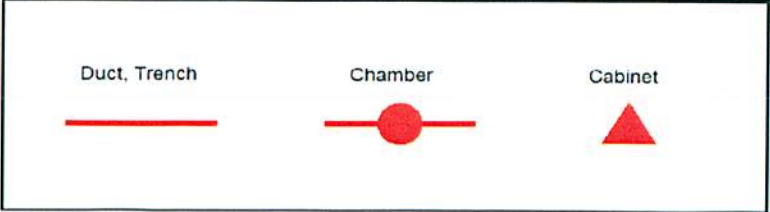
(c) Crown Copyright and database rights 2011 Ordnance Survey 100019209 Date: 24/10/13 Scale: 1:1083 Map Centre: 543348.1,195791.8 Data updated: 25/08/13 Telecoms Plan A4

Important information - please read

The purpose of this plan is to identify Virgin Media apparatus. We have tried to make it as accurate as possible but we cannot warrant its accuracy. In addition, we caution that within Virgin Media apparatus there may be instances where main voltage power cables have been placed inside green, rather than black ducting. Further details can be found using the 'Affected Postcodes.pdf', which can be downloaded from this website.

Therefore, you must not rely solely on this plan if you are carrying out any excavation or other works in the vicinity of Virgin Media apparatus. The actual position of any underground service must be verified by cable detection equipment, etc. and established on site before any mechanical plant is used. Accordingly, unless it is due to the negligence of Virgin Media, its employees or agents, Virgin Media will not have any liability for any omissions or inaccuracies in the plan or for any loss or damage caused or arising from the use of and/or any reliance on this plan.

This plan is produced by Virgin Media Limited from Ordnance Survey © Crown Copyright 100019209



agreenhalgh@pellings.co.uk





Based on the Ordnance Survey Map with the sanction of the Controller of H.M. Stationary Office License Number:- 100019345. This map is to be used for the purposes of viewing the location of Thames Water plant only. Any other uses of the map data or further copies are not permitted. The position of the apparatus shown on this plan is given without obligation and warranty, and the accuracy cannot be guaranteed. This information is valid for the date printed. Service pipes are not shown but their presence should be anticipated. No liability of any kind whatsoever is accepted by Thames Water for any error or omission. The actual position of mains and services must be verified on site before any works are undertaken.

Water Main		Meter	
Private Water		Valve	
Proposed Water		Hydrant	
Abandoned Asset		End Item	

agreenhaigh@pellings.co.uk





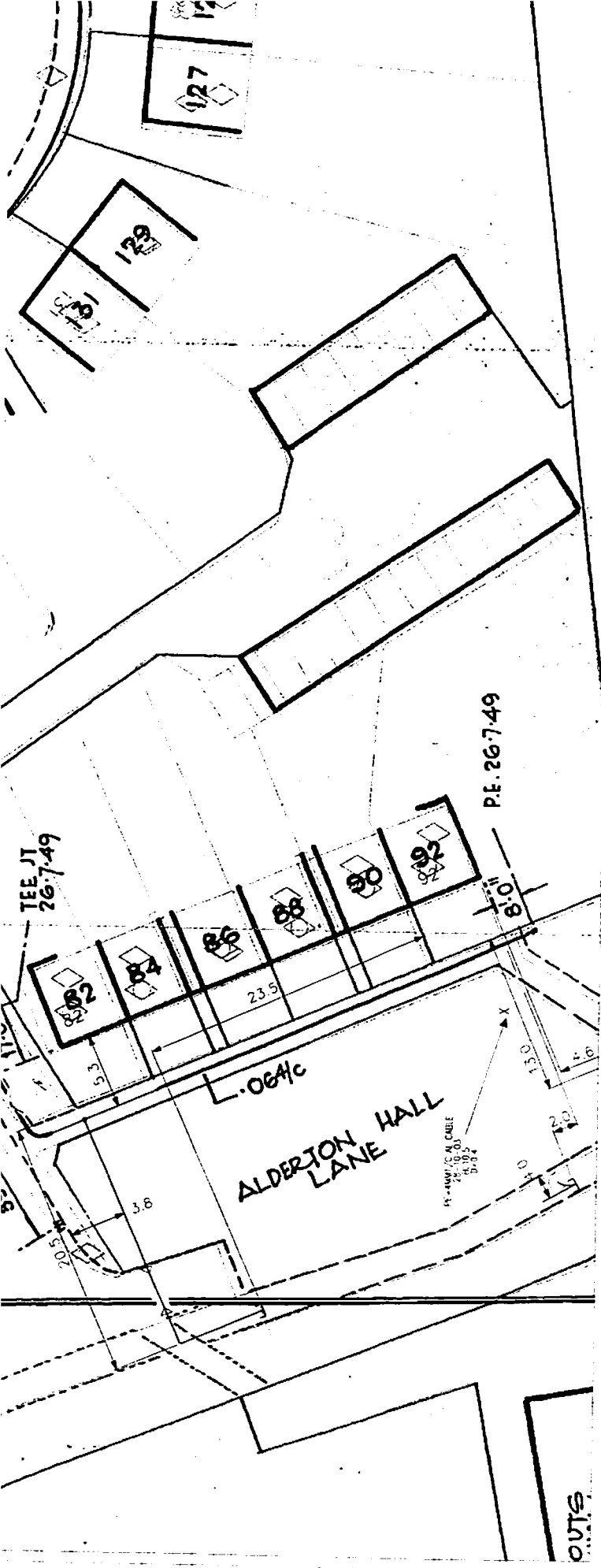
(c) Crown Copyright and database rights 2012 Ordnance Survey 100018345 Date: 23/10/13 Scale: 1:1083 Map Centre: 543308, 195763.3 Data updated: 16/08/13 Wastewater Plan A4



agreenhalgh@pellings.co.uk

	Foul Sewer		Foul Manhole
	Surface Sewer		Surface Manhole
	Combined Sewer		Combined Manhole
	Abandoned Sewer		Abandoned Manhole
	Pressure Main		Other Manhole
	Private Asset (Colour denotes different type)		End Item
	Proposed Asset (Colour denotes different type)		S104 Boundary

Based on the Ordnance Survey Map with the sanction of the Controller of the Controller of H.M. Stationary Office License Number:- 100019345. This map is to be used for the purposes of viewing the location of Thames Water plant only. Any other uses of the map data or further copies are not permitted. The position of the apparatus shown on this plan is given without obligation and warranty, and the accuracy cannot be guaranteed. This information is valid for the date printed. Service pipes are not shown but their presence should be anticipated. No liability of any kind whatsoever is accepted by Thames Water for any error or omission. The actual position of mains and services must be verified on site before any works are undertaken.



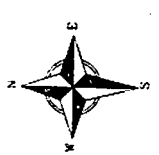
PRIMARY CABLES
 EXTRA HIGH VOLTAGE CABLES (EHV) 22,000 TO 132,000 Volts
 Depth normally 750mm cover in earthenway & 600mm cover in footway.
 Before digging within one metre of these cable routes
 Telephone 0800 056 5866 in order that the Company's apparatus may be located
 any necessary protection works agreed.

- N.B. THRU-ROBOTS OR MOLES MUST NOT BE USED WITHIN THE VICINITY OF AN
 BELONGING TO UK POWER NETWORKS WITHOUT FIRST CONTACTING THIS COMPANY
1. The position of the apparatus shown on this drawing is believed to be correct. Landmarks may have been altered since the apparatus was installed.
 2. The exact position of the apparatus should be verified - use approved cubic prior to excavation using suitable hand tools.
 3. It is essential that trial holes are carefully made avoiding the use of metallic picks until the exact location of all cables have been determined.
 4. It must be assumed that there is a service cable into each property, lamp or sign, etc.
 5. All cables must be treated as being live unless proved otherwise by UK Power.
 6. The information provided must be given to all people working near UK Power equipment. Do not use plans more than 3 months after the issue date for extra equipment.
 7. Please be aware that electric cables/lines belonging to other owners of licenses distribution systems may be present and it is your responsibility to identify their

Plotted On : 22/10/2013
 Plotted By : Kov Singh
 Plot Description : Contents of plot menu file title_line_1
 Contents of plot menu file title_line_2

Map Centre : TQ4395NW

UK Power Networks
 Plan Provision
 Core Street
 IPSWICH
 Suffolk
 IP3 8AA
 Tel 0800 0565 866
 Fax 08701 963782



Appendix E

Information on Possible Contamination

Information on possible contamination has been forwarded by Epping Forest District Council by way of email of 22nd May 2013, giving information on potential contamination across all the primary sites.

This clarifies possible ground contamination derived from asbestos, made ground, hydrocarbons, petroleum hydrocarbons and the like.

It is likely that any Planning Consent will carry a Condition that all contamination issues are to be remediated.

Accordingly, we recommend that initial site investigation is undertaken for all sites that move forward to Planning Applications.

Appendix F

Cost Build-up

Gross Internal floor area	m2	ft2
Affordable Flat Units	0	0
Allowance for communal space @ 20%	0	0
Affordable House Units	154	1,658
TOTAL GIA	154	1,658

Item	Element	Qty Unit	Rate £/unit	Total £
1.0 Demolition				
1.1	Demolition	271 m ²	50	13,545
2.2	Site clearance	557 m ²	10	5,573
1.2	Allowance for removal of asbestos	21 No	800	16,800
	Sub-total		say	40,000
2.0 Affordable Flat units (xx nr. units)				
2.1	Flats Private areas	0 m ²	1,350	0
2.2	Flats communal areas (20% allowed)	0 m ²	900	0
	Sub-total		say	0
3.0 Affordable House units (02 nr. units)				
3.1	House areas	154 m ²	1,250	193,000
	Sub-total		say	190,000
4.0 Abnormals / E/o and External Works				
4.1	Private gardens (incl. fencing)	301 m ²	40	12,000
4.2	Communal Gardens	75 m ²	30	2,000
4.3	Access road, parking and turning	330 m ²	65	21,000
4.4	Pedestrian paving	0 m ²	50	Incl.
4.5	Cross over / highways adaptations	2 item	2,000	4,000
4.6	Allowance for contaminated ground	0 item		Excl.
4.7	Boundary treatment (fencing/walls)	175 m	160	28,000
4.8	Allowance for achieving CfSh Level 3	2 nr	4,500	9,000
	Sub-total		say	80,000
		£/m2	£/ft2	
	INDICATIVE CONSTRUCTION COST			310,000
	CONTINGENCY @ 5%			20,000
	CONTRACTORS DESIGN FEES @ 8%			26,400
	PRELIMS AND OVERHEADS AT 15%			46,500
	TOTAL INDICATIVE CONSTRUCTION COST	2,616		402,900

Clarifications and Assumptions

Estimate based on Pellings Feasibility drawings and standard ETG specifications
 GIA is approximate due to early stage of design
 Costs are based on a Q3 2014 start on site
 Costs are based on a Single Stage Competitive D&B procurement route
 Costs are based on a Contractor 'best programme' contract period
 All units assumed to achieve Code for sustainable Homes Level 3
 It is assumed that a traditional construction (concrete strip foundations, brick/block walls, timber floor structure, sloped tiled roofs) will be used
 Contractors design fees are based upon appointment with planning consent under JCT D&B contract
 Assumed no Party Wall or Rights of Lights issues

Exclusions

Clients professional fees (including statutory fees)
 VAT
 Hazardous material removal
 Excludes any off-site works
 Provision of loose fittings and furnishings
 Costs of compliance of any conditions imposed by TFL or other statutory bodies
 Costs of Section 106, S108, S278 Agreement(s) or Community Infrastructure Levy charges

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**East Thames Housing / Epping Forest District Council
Housing Delivery Programme**

Feasibility Report

**Site: 146-171 (Garages) Chequers Road, Loughton IG10 3QF
(Site A)**

Rev: A

Ref: IJC/srs/612.023
Date: September 2014

Contents

1. Introduction and Confirmation of Brief
2. Existing Site and Surroundings
3. Proposals
4. Planning Issues and Risks
5. Impact/Implications of Statutory Services
6. Site Access and Buildability Issues
7. Neighbourly Matters and Party Walls
8. Proposed Procurement Route
9. Impact on Parking
10. Legals
11. Costs
12. Recommendations and Conclusions

Appendices

- A: Development Proposals – Drawings 612.023/P2-12A
- B: Site Photographs
- C: Existing Site Plan 201206014-Y
- D: Statutory Services Information
- E: Information on Possible Contamination
- F: Cost Build-up

1.0 Introduction and Confirmation of Brief

- 1.1. Pellings LLP are appointed as part of East Thames Group Technical Team in respect of delivery of Development Agent services to Epping Forest District Council for a six year housing delivery programme.
- 1.2. Following initial appraisal by EFDC, 59 sites have been identified as having possible development potential, with a further number of sites in reserve.
- 1.3. Pellings LLP have been instructed to progress feasibility studies to all 59 sites and which will assist in establishing the extent and timing of the overall programme.
- 1.4. Our instructions are in accordance with our fee tender of 13 August 2012, against the previously prepared tender documentation, and email confirmation of 9 April 2013.

2.0 Existing Site and Surroundings

- 2.1. The site is located in a residential area 500m to the west of Debden station.
- 2.2. The site consists of 26 single garages and hardstanding. Access is by way of a 3.5m wide driveway between nos. 2 and 12a Chequers Road. The garage site is abutted by the rear gardens of adjoining housing.
- 2.3. Neighbouring housing is two storey terraced and semi-detached with front and rear gardens.
- 2.4. There are mature conifer trees not forming part of the site but adjacent to the boundary in the North East corner.
- 2.5. There is vehicular access afforded into the site from the rear of No. 22 Crossfields.

3.0 Proposals

- 3.1. Read in conjunction with drawings 612.023.P2-12A attached at Appendix A.
- 3.2. The proposals are :

Erection of a 3 x two storey 3 bedroom houses each with gardens
Provision of 6 parking spaces and access/landscaping.

4.0 Planning Issues and Risks

Relevant Planning Policies/Considerations

- 4.1. The adopted Development Plan for Epping Forest District Council is the Combined Local Plan 1998 and Local Plan Alterations 2006.
- 4.2. The site is not located in a Conservation Area and it is not designated for any particular purposes in the Epping Forest District Council Combined Local Plan 1998 and Local Plan Alterations 2006. The site does not lie in a Flood Zone on the Environment Agency Flood Map.

- 4.3. There are no specific policies which prevent the loss of existing garages although policy ST4 (Road Safety) states that planning permission will only be granted where there will be no adverse effects on the highway, traffic congestion or harm to the character or appearance of the area. Parking spaces to meet with the Council's standards are proposed for the new dwellings.
- 4.4. It will be necessary to undertake a Parking Survey and to prepare a Transport Statement to demonstrate that the loss of the garages and proposed development would not cause any parking shortfalls or harm to highway conditions or the amenities of the area.
- 4.5. The site is located in the settlement of Loughton and the proposal would be consistent with policy CP7 which encourages the efficient use of existing built-up areas by the 'recycling of vacant, derelict, degraded and under-used land to accommodate the development' and the 're-use of urban sites, which are no longer appropriate to their existing or proposed use in the foreseeable future, for alternative land uses'.
- 4.6. The proposal would comply with policy H4A which states the need for a range of dwellings, including an appropriate proportion of smaller dwellings, to meet identified housing need on a site-by-site basis.
- 4.7. The development of small family homes with rear gardens and private and communal parking would be in keeping with the character and appearance of the area and may comply with Epping Forest's design policies and guidance.

5.0 **Impact/Implications of Statutory Services**

- 5.1. We have undertaken statutory services enquiries to the following:
- Southern Gas
 - Cable and Wireless
 - Virgin Media
 - Thames Water
 - BT
 - National Grid
 - Scottish and Southern Energy
 - Environment Agency
 - UK Power Networks
- 5.2. Responses received to date are from the Environment Agency, National Grid, UK Power Networks, Virgin Media and Thames Water.
- 5.3. The Environment Agency has not pointed out any watercourses which cross the site.
- 5.3.1. National Grid: No apparatus appears to be located on the site.
- 5.3.2. UK Power Networks: There does not appear to be any apparatus within the site.
- 5.3.3. Virgin Media: There is no apparatus within the site.
- 5.4. Thames Water: There are no drains or sewers crossing the site.
- 5.5. It should be noted there are a number of responses to enquiries that, at time of preparation of this report, have not yet been received.

6.0 **Site Access and Buildability Issues**

- 6.1. The site is accessed from existing site roads and there would not appear to be any particular difficulties for the normal level and size of construction traffic associated with a development of this nature.
- 6.2. Areas should be available for contractor's site set up and accommodation.
- 6.3. The site is within a primarily residential area, with also some retail elements nearby and, accordingly, any appointed contractor should use all best endeavours to act in a considerate manner and within normal working hours.
- 6.4. Further to initial enquiries made to EFDC, some potential contamination issues have been highlighted with use of the domestic garages, and also a former horticultural nursery. Possible contaminants in respect of the former use as a nursery are summarised and indicated within the note produced by EFDC Planning and Economic Development Directorate at Appendix E.
- 6.5. Possible contaminants in respect of the previous use of the garage site may include asbestos, ash and clinker, hydro-carbons from vehicle maintenance and the like.
- 6.6. Accordingly, suitable site investigation will need to be undertaken ahead of any proposals to take this site forward and specific recommendations made to deal with any contamination found, whether by capping or removal from site.
- 6.7. The site is accessed by way of a narrow driveway and as at present, our proposals do not include a turning head for refuse or emergency vehicles. Accordingly, subject to detailed design, an independent refuse storage area may be required along with sprinkler provision to the new houses for fire protection.
- 6.8. It is possible that the access road could be widened improve vehicular access subject to the ownership of either No. 2 or 12a Chequers Road which we recommend should be checked.

7.0 **Neighbourly Matters and Party Walls**

- 7.1. As above, the proposed development site is within a primarily residential area and the appointed contractor should act in a considerate manner. It is proposed that restrictions on working hours, noise levels, requirement for resident liaison and similar matters will be included within contract documentation.
- 7.2. From proposals on Drawing 612.023/P2-12A we do not consider that Party Wall matters will be relevant.

8.0 **Proposed Procurement Route**

- 8.1. It is understood that development works will be procured by way of the East Thames Housing Group existing contractor framework arrangements.
- 8.2. It is proposed that works shall be procured on a Design and Build basis with the contractors taking forward RIBA Stage D planning consent drawings into detailed design and construction delivery on site.

- 8.3. Schemes shall be designed to a set of Employer's Requirements to be subsequently confirmed but which substantially shall be formed from existing East Thames Housing Group Design Standards and Employer's Requirement documentation.
- 8.4. It is proposed that all site preparation works will be included within individual contract packages including any required demolitions, adjustment of statutory services, highways works and boundary maintenance/reinstatement/provision.
- 8.5. On completion of the feasibility studies for the whole programme, further recommendations will be made in terms of how works are packaged to ensure size of work packages are optimised for ensuring maximum economies for East Thames Housing Group and EFDC.
- 8.6. It is considered, at this stage, that this may be by way of a mix of different sized contractors dependent upon the numbers and geographical location of individual works packages.
- 8.7. Works will be administered by Pellings LLP as Employer's Agent acting in accordance with East Thames Housing Group terms of appointment and the overarching requirements of the Development Agency agreement.

9.0 **Impact on Parking**

- 9.1. The Council's currently adopted parking standards are contained within Essex County Council's Parking Standards Design and Good Practice Guide – September 2009. These revised standards were adopted by the Council as statutory planning guidance in February 2012.
- 9.2. Flats and houses have the same parking standard as follows:
- 1 bedroom accommodation – 1 space per dwelling
 - 2 bedroom accommodation and above – 2 spaces per dwelling
 - Visitor parking – 0.25 spaces per dwelling (rounded up to the nearest whole number)

- 9.3. The proposals would quite possibly meet the Council's parking standards for new development.
- 9.4. However, should the site move forward to planning application stages, it is recommended that a Transport Statement be undertaken, including parking surveys, to demonstrate that the loss of the garages will not give rise to any planning or highway problems.

10.0 **Legals**

- 10.1. We have been provided with a Summary Report of legal matters from EFDC Solicitors. The report makes reference to the suggested appropriation of land for planning purposes which would extinguish any prior rights of way.
- 10.2. The report makes reference to possible rights of light risk. A blanket policy against such risk might be considered.

10.3. There are some existing vehicular access points from adjacent properties. The Housing Management Report advises that there are no licences in place for these. These accesses are maintained within Pellings development proposals in any event.

10.4. Item 2.11 of the Legals Report advises that there are notices regarding Party wall Agreements in place. We suspect that this should read 'no notices' but this requires clarification.

11.0 **Costs**

11.1. It is considered that a budget of £599,700.00 should be allowed for this scheme, inclusive of contractor design fees, but exclusive of professional fees and VAT. Please refer to Appendix F.

12.0 **Recommendations and Conclusions**

12.1. Subject to an overall lifetime cost appraisal, we conclude that the site appears to have economic development opportunities and we recommend is considered for taking forward to planning application stage, with a view to incorporating into the overall programme.

Signed:


.....

Pellings LLP

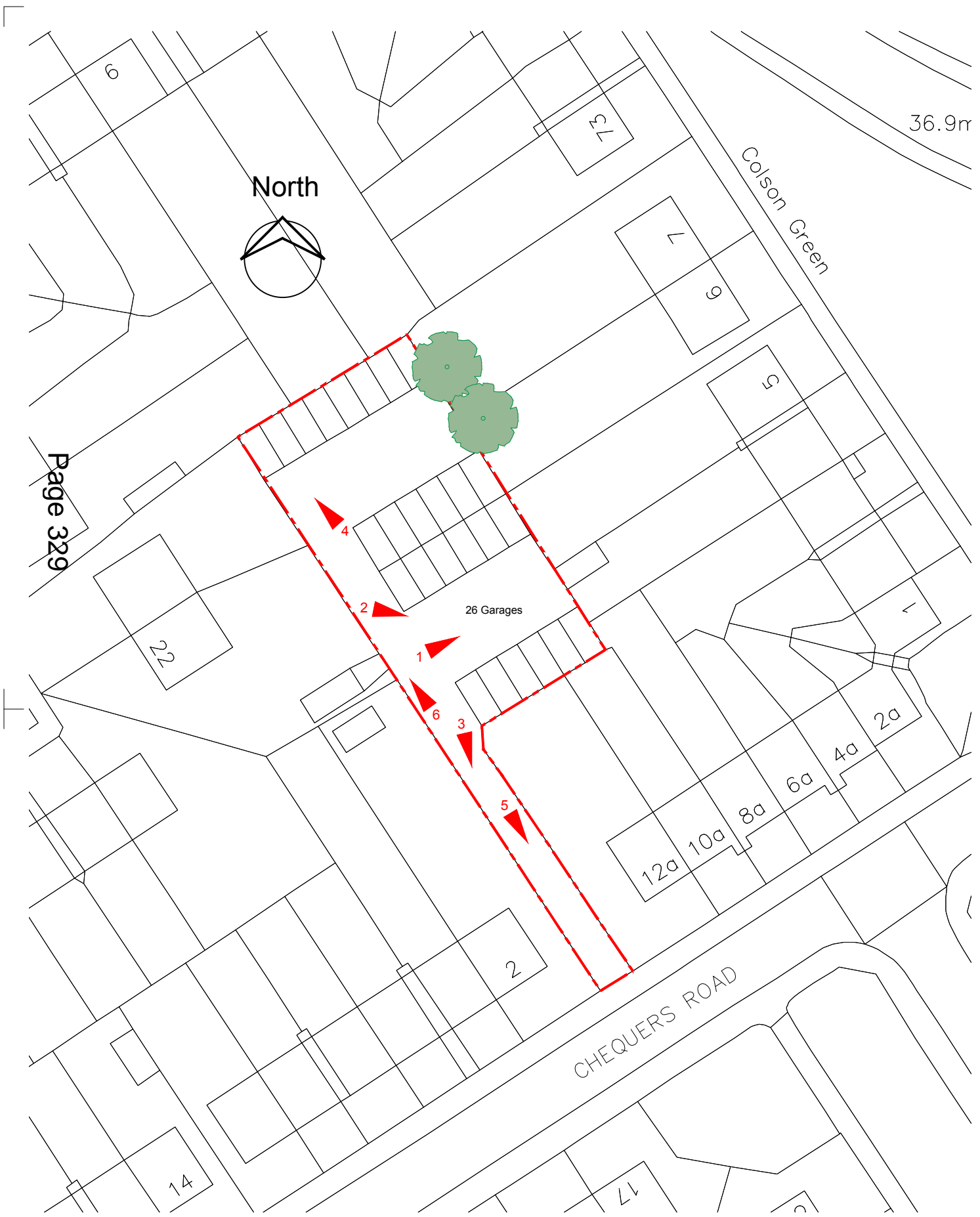
Date:

1st October 2014
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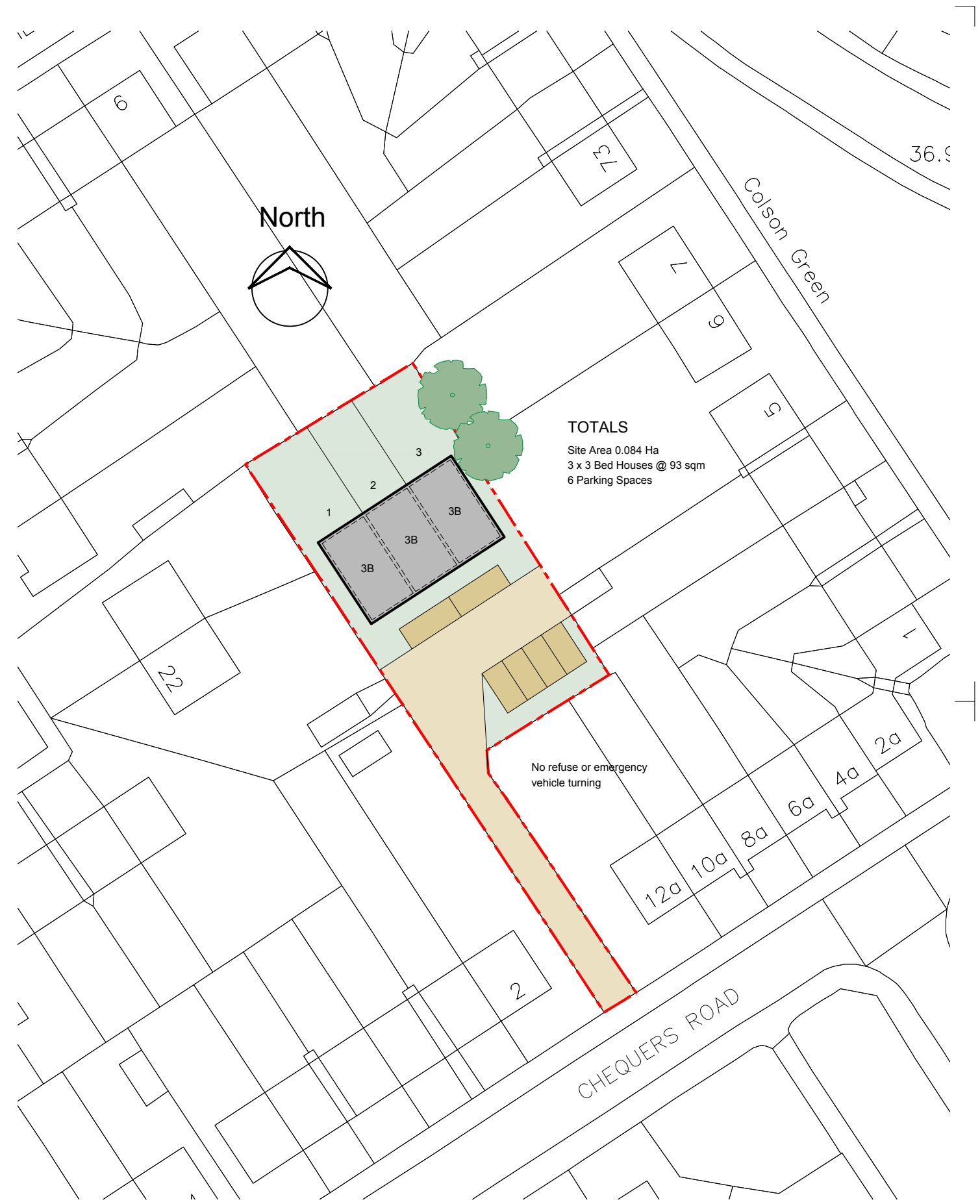
Appendix A

Development Proposals

Drawings 612.023.P2-12A



Page 329



NOTES:
 Report all discrepancies, errors and omissions
 Do not scale from this drawing.
 Verify all dimensions on site before commencing any work or preparing shop drawings.
 All materials, components and workmanship are to comply with all the relevant British Standards, Codes of Practice, and appropriate manufacturers recommendations that from time to time shall apply.
 For all specialist work, see relevant drawings.
 This drawing and design are copyright of PELLINGS LLP

PRELIMINARY

Rev	Date	Description	Name
-	-/-/-		



Pellings LLP 24 Widmore Road Bromley Kent BR1 1RY t 020 8460 9114 f 020 8313 0019 e bromley@pellings.co.uk www.pellings.co.uk		Architecture & Planning ■ Building Surveying ■ Project Management ■ Cost Consultancy ■ CDM Co-ordination	
CLIENT	East Thames HA	PROJECT	EFDC House Building Programme
TITLE	Existing and Proposed Plans Chequers Road Site A	DATE	NOV 2013
		SCALE	1:500 @A3
		DRAWN	NP
		CHK	
DRAWING NO		612 023 P2-12 A	

Appendix B

Site Photographs

Appendix B - Site Photographs

1.



2.



3.



4.



5.

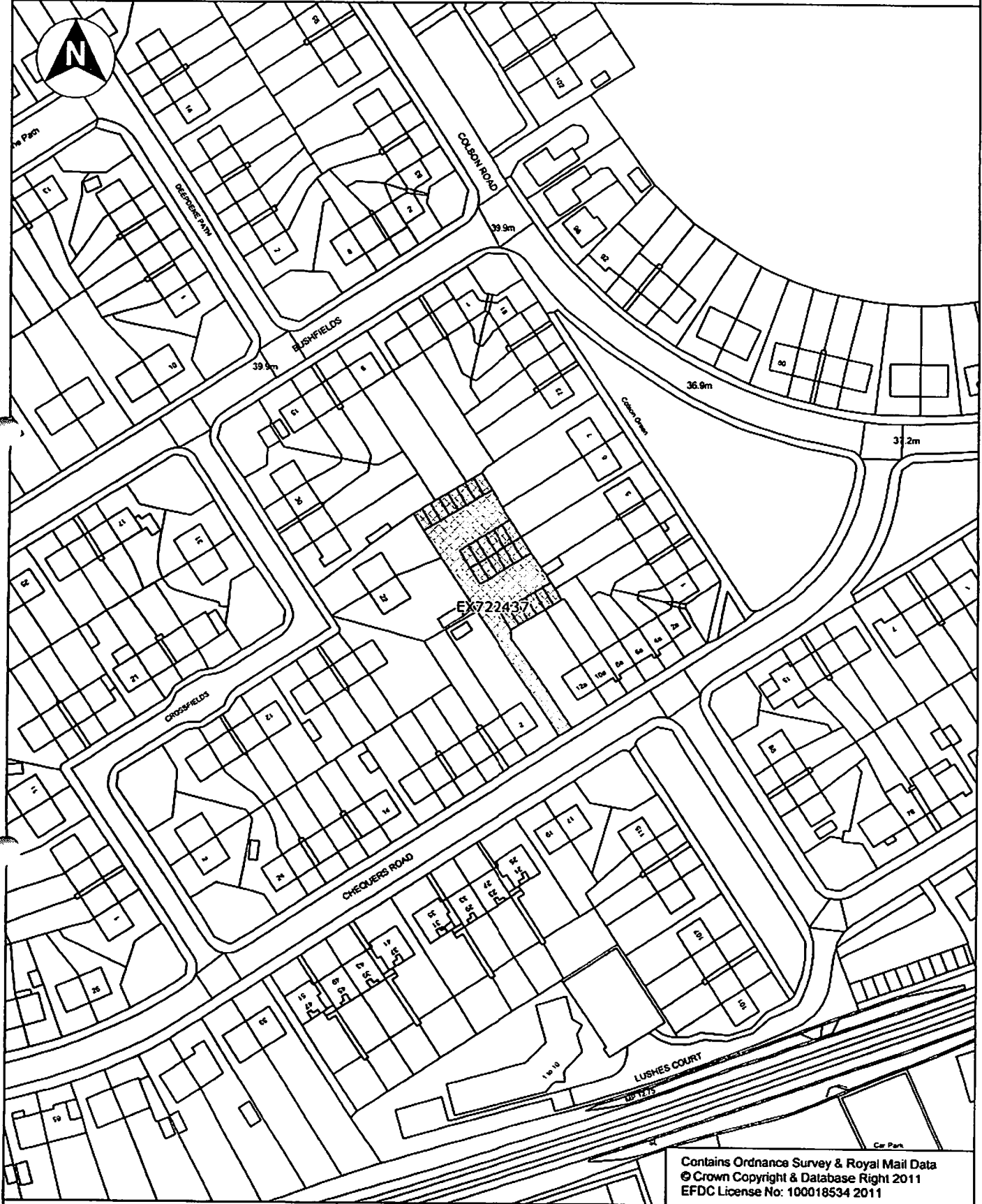


6.



Appendix C

Existing Site Plan



Contains Ordnance Survey & Royal Mail Data
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 EFDC License No: 100018534 2011

Directorate of Environment & Street Scene
 Civic Offices
 High Street
 Epping, Essex,
 CM16 4BZ
 Tel. 01992 564000

Project
 Potential Site for Council House
 Building Program

Drawing No.
 201206014 - Y

Content
 Site A
 Chequers Road
 Loughton

Date
 04/07/12

Scale
 1:1250 @ A4

Drawn By
 Robert Irwin

Appendix D

Statutory Services Information

Adam Greenhalgh
Pellings
24 Widmore Road
Bromley
Kent
BR1 1RY

Plant Protection
National Grid
Block 1; Floor 1
Brick Kiln Street
Hinckley
LE10 0NA
E-mail: plantprotection@nationalgrid.com
Telephone: +44 (0)800 688588

National Grid Electricity Emergency Number:
0800 40 40 90*

National Gas Emergency Number:
0800 111 999*

* Available 24 hours, 7 days/week.
Calls may be recorded and monitored.

www.nationalgrid.com

Date: 23/10/2013
Our Ref: NL_TE_Z6_3SW_041969
Your Ref: Site A, Chquers Road. Ia079

RE: Proposed Works, IG10 3RH, Chequers Road, Loughton

Thank you for your enquiry which was received on 17/10/2013.

Please note this response and any attached map(s) are valid for 28 days.

An assessment has been carried out with respect to National Grid Electricity Transmission plc's and National Grid Gas plc's apparatus. Please note it does not cover the items listed in the section "Your Responsibilities and Obligations", including gas service pipes and related apparatus.

For details of National Grid's network areas please see the National Grid website (<http://www.nationalgrid.com/uk/Gas/Safety/work/>) or the enclosed documentation.

As your works are at a "proposed" stage, any maps and guidance provided are for information purposes only. This is not approval to commence work. You must submit a "Scheduled Works" enquiry at the earliest opportunity and failure to do this may lead to disruption to your plans and works. National Grid will endeavour to provide an initial assessment within 14 days of receipt of a Scheduled Works enquiry and dependent on the outcome of this, further consultation may be required.

In any event, for safety and legal reasons, works must not be carried out until a Scheduled Works enquiry has been completed and final response received.

Your Responsibilities and Obligations

The "Assessment" Section below outlines the detailed requirements that must be followed when planning or undertaking your scheduled activities at this location.

It is your responsibility to ensure that the information you have submitted is accurate and that all relevant documents including links are provided to all persons (either direct labour or contractors) working for you near National Grid's apparatus, e.g. as contained within the Construction (Design and Management) Regulations.

This assessment solely relates to National Grid Electricity Transmission plc (NGET) and National Grid Gas plc (NGG) apparatus. This assessment does **NOT** include:

- National Grid's legal interest (easements or wayleaves) in the land which restricts activity in proximity to National Grid's assets in private land. You must obtain details of any such restrictions from the landowner in the first instance and if in doubt contact National Grid.
- Gas service pipes and related apparatus
- Recently installed apparatus
- Apparatus owned by other organisations, e.g. other gas distribution operators, local electricity companies, other utilities, etc.

It is **YOUR** responsibility to take into account whether the items listed above may be present and if they could be affected by your proposed activities. Further "Essential Guidance" in respect of these items can be found on the National Grid Website (<http://www.nationalgrid.com/NR/rdonlyres/6D6525F9-59EB-4825-BA89-DBD7E68882C7/51319/EssentialGuidance.pdf>).

This communication does not constitute any formal agreement or consent for any proposed development work; either generally or with regard to National Grid's easements or wayleaves nor any planning or building regulations applications.

NGG and NGET or their agents, servants or contractors do not accept any liability for any losses arising under or in connection with this information. This limit on liability applies to all and any claims in contract, tort (including negligence), misrepresentation (excluding fraudulent misrepresentation), breach of statutory duty or otherwise. This limit on liability does not exclude or restrict liability where prohibited by the law nor does it supersede the express terms of any related agreements.

If you require further assistance please contact the National Grid Plant Protection team via e-mail ([click here](#)) or via the contact details at the top of this response.

Yours faithfully

National Grid Plant Protection Team

ASSESSMENT

Affected Apparatus

The National Grid apparatus that has been identified as being in the vicinity of your proposed works is:

- Low or Medium pressure (below 2 bar) gas pipes and associated equipment. (As a result it is highly likely that there are gas services and associated apparatus in the vicinity)

Requirements

BEFORE carrying out any work you must:

- Carefully read these requirements including the attached guidance documents and maps showing the location of National Grid apparatus.
- Contact the landowner and ensure any proposed works in private land do not infringe National Grid's legal rights (i.e. easements or wayleaves). If the works are in the road or footpath the relevant local authority should be contacted.
- Ensure that all persons, including direct labour and contractors, working for you on or near National Grid's apparatus follow the requirements of the HSE Guidance Notes HSG47 - 'Avoiding Danger from Underground Services' and GS6 - 'Avoidance of danger from overhead electric power lines'. This guidance can be downloaded free of charge at <http://www.hse.gov.uk>
- In line with the above guidance, verify and establish the actual position of mains, pipes, cables, services and other apparatus on site before any activities are undertaken.

GUIDANCE

Excavating Safely - Avoiding injury when working near gas pipes:

http://www.nationalgrid.com/NR/rdonlyres/2D2EEA97-B213-459C-9A26-18361C6E0B0D/25249/Digsafe_leaflet3e2finalamends061207.pdf

Standard Guidance

Essential Guidance document:

<http://www.nationalgrid.com/NR/rdonlyres/6D6525F9-59EB-4825-BA89-DBD7E68882C7/51319/EssentialGuidance.pdf>

General Guidance document:

<http://www.nationalgrid.com/NR/rdonlyres/55C13C4D-A1AA-4B13-BFDA-1CF59F88B326/51318/GeneralGuidance.pdf>

Excavating Safely in the vicinity of gas pipes guidance (Credit card):

<http://www.nationalgrid.com/NR/rdonlyres/A3D37677-6641-476C-9DDA-E89949052829/44257/ExcavatingSafelyCreditCard.pdf>

Excavating Safely in the vicinity of electricity cables guidance (Credit card):

<http://www.nationalgrid.com/NR/rdonlyres/35DDEC6D-D754-4BA5-AF3C-D607D05A25C2/44858/ExcavatingSafelyCreditCardelectricitycables.pdf>

Copies of all the Guidance Documents can also be downloaded from the National Grid Website:

<http://www.nationalgrid.com/uk/Gas/Safety/work/downloads/>

ENQUIRY SUMMARY

Received Date

17/10/2013

Your Reference

Site A, Chquers Road. Ia079

Location

Centre Point: 543683, 195965

X Extent: 42

Y Extent: 69

Postcode: IG10 3RH

Location Description: IG10 3RH, Chequers Road, Loughton

Map Options

Paper Size: A4

Orientation: LANDSCAPE

Requested Scale: 500

Actual Scale: 1:1250 (GAS)

Real World Extents: 361m x 196m (GAS)

Recipients

pprsteam@uk.ngrid.com

Enquirer Details

Organisation Name: Pellings

Contact Name: Adam Greenhalgh

Email Address: bromley@pellings.co.uk

Telephone: 0208 460 9114

Address: 24 Widmore Road, Bromley, Kent, BR1 1RY

Description of Works

Plans request for potential development site.

Enquiry Type

Proposed Works

Activity Type

Development Project

Work Types

Work Type: Plans Only

Adam Greenhalgh

From: SPHatfield <SPHatfield@environment-agency.gov.uk>
Sent: 23 October 2013 17:49
To: Adam Greenhalgh
Subject: RE: Epping Forest DC - potential development sites

Dear Adam,

Further to your letters dated 16 October (your ref: AG/dh/612.023/05), we have the following comments to make on the specific sites listed below (please note that comments on three sites – Rear of shops, Loughton Way, Buckhurst Hill; Pentlow Way, Buckhurst Hill and Site B, Marlescroft Way, Loughton – will follow on or before 7 November due to additional site constraints).

Sites: Burton Road, Debden
White Hills, Loughton
Thatchers Close, Loughton
Site A, Pyries (**note:** should be 'Pyrles') Lane, Loughton
Site B, Pyries (**note:** should be 'Pyrles') Lane, Loughton
Site A, Chequers Road, Loughton
Site B, Chequers Road, Loughton
Site A, Langley Meadow, Loughton
Site B, Langley Meadow, Loughton
Hornbeam Close, Buckhurst Hill
Hornbeam House, Hornbeam Road, Buckhurst Hill
Bourne House, Hornbeam Road, Buckhurst Hill
Bushfields, Loughton
Etheridge Road, Loughton
Lower Alderton Hall Lane, Loughton
Ladyfields, Loughton
Kirby Close, Loughton
Chester Road, Loughton
Hillyfields, Loughton

Comments

As we are in an area of serious water stress, we endorse the efficient use of water resources. Residential developments such as your proposal should take advantage of water efficient technologies. This is in line with Epping Forest's local policy CP5 which states that the efficient use of water is encouraged through water efficient appliances and rainwater harvesting for example.

We suggest you use water efficiency measures and aim to achieve 105 litres/person/day. This is equivalent to level 3/4 for water within the Code for Sustainable Homes. Achieving this standard within new homes can be accomplished at very little additional cost, and is significantly cheaper than retrofitting such measures later.

Every opportunity should be taken to maximise Sustainable Drainage Systems (SuDS) such as green roofs, ponds, swales and permeable pavements, to alleviate surface water runoff. I have attached a copy of our SuDS guidance, which contains the SuDS hierarchy, to help you with your designs. The methods at the top of the hierarchy are preferred because they are beneficial in terms of sustainability and biodiversity. The hierarchy should be used in descending order. Tanks should only be used as a last resort. Epping Forest's local policy U3B on sustainable drainage systems advocates this approach.

As the sites are all under a hectare in Flood Zone 1, they fall within cell F5 of our Flood Risk Standing Advice consultation matrix. Epping Forest Local Planning Authority will therefore be responsible for assessing flood risk at these sites.


Kind regards,

Clark Gordon
Sustainable Places Planning Advisor
Environment Agency
North East Thames Area - Hatfield Team
01707 632308



The climate is changing. Are you?

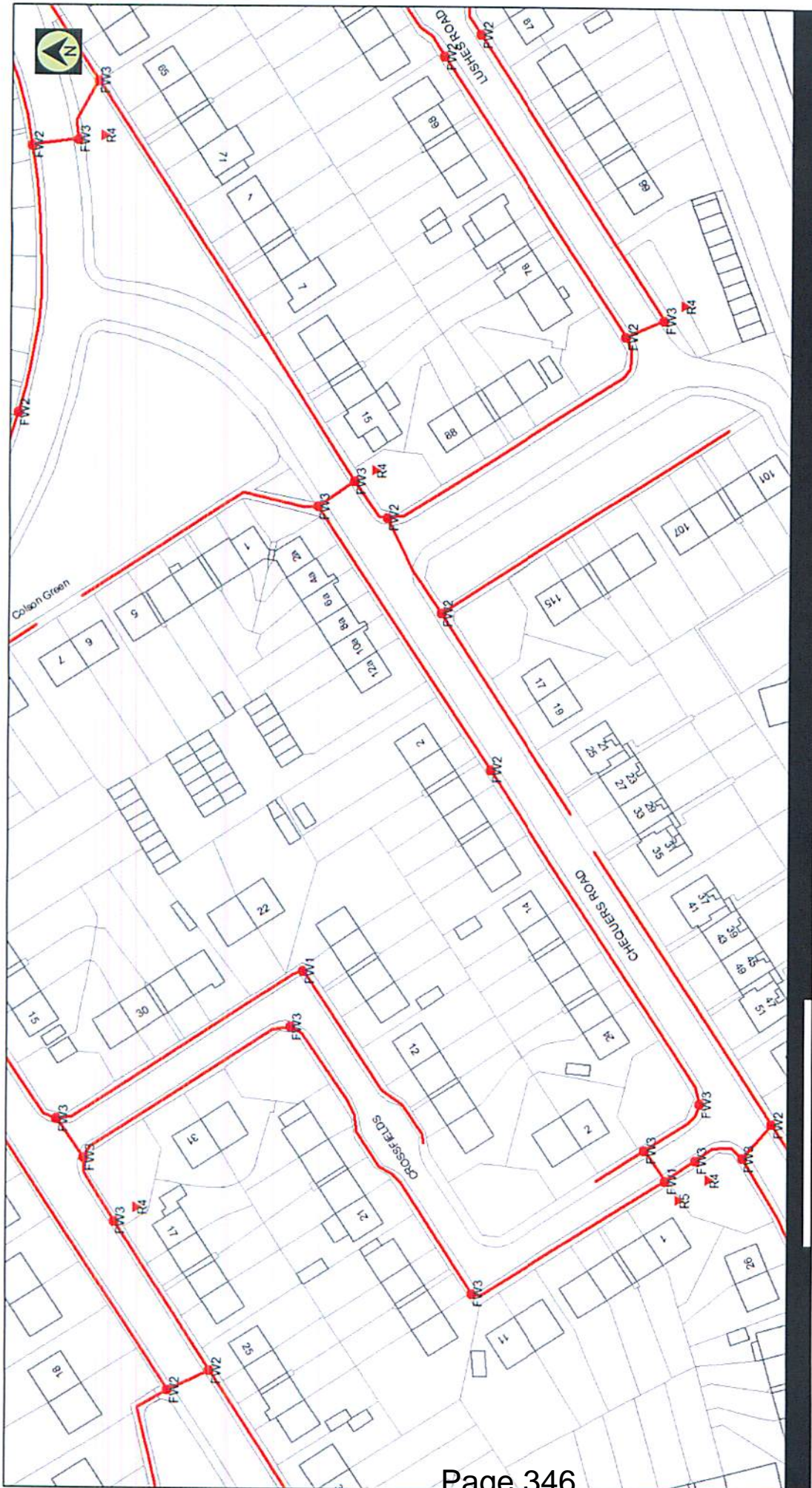
A support service led by the Environment Agency
www.environmental-agency.gov.uk/climate-ready

 please consider the environment - do you really need to print this email?

Information in this message may be confidential and may be legally privileged. If you have received this message by mistake, please notify the sender immediately, delete it and do not copy it to anyone else.

We have checked this email and its attachments for viruses. But you should still check any attachment before opening it.

We may have to make this message and any reply to it public if asked to under the Freedom of Information Act, Data Protection Act or for litigation. Email messages and attachments sent to or from any Environment Agency address may also be accessed by someone other than the sender or recipient, for business purposes.



agreenhaigh@pellings.co.uk

Important information - please read
 The purpose of this plan is to identify Virgin Media equipment. We have tried to make it as accurate as possible but we cannot warrant the accuracy for address locations, the way Virgin Media equipment is installed or the way it is used. Power cables have been placed inside green, rather than black, ducting. Further details can be found using the 'Affected Postcodes PDF', which can be downloaded from the website.
 Therefore, you must not rely solely on this plan if you are carrying out any excavation or other works in the vicinity of Virgin Media apparatus. The actual position of any underground service must be verified by cable detection equipment, etc. and established on site before any mechanical plant is used. Accordingly, unless it is due to the negligence of Virgin Media, its employees or contractors, Virgin Media shall not be liable for any loss or damage caused or arising from the use of and/or any reliance on this plan.
 This plan is produced by Virgin Media Limited from Ordnance Survey © Crown Copyright 1000192009





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Date: 23/10/13

Scale: 1:1083

Map Centre: 543687.8,195937.3

Data updated: 16/08/13

Clean Water Plan A4

Based on the Ordnance Survey Map with the sanction of the Controller of H.M. Stationary Office License Number:- 100019345. This map is to be used for the purposes of viewing the location of Thames Water plant only. Any other uses of the map data or further copies are not permitted. The position of the apparatus shown on this plan is given without obligation and warranty, and the accuracy cannot be guaranteed. This information is valid for the date printed. Service pipes are not shown but their presence should be anticipated. No liability of any kind whatsoever is accepted by Thames Water for any error or omission. The actual position of mains and services must be verified on site before any works are undertaken.

Water Main		Meter	
Private Water		Valve	
Proposed Water		Hydrant	
Abandoned Asset		End Item	

agreenhalgh@pellings.co.uk





(c) Crown Copyright and database rights 2012 Ordnance Survey 100019345 Date: 23/10/13 Scale: 1:1083 Map Centre: 543687.8, 195937.3 Data updated: 16/08/13 Wastewater Plan A4

agreenhaigh@pellings.co.uk

	Foul Sewer		Foul Manhole
	Surface Sewer		Surface Manhole
	Combined Sewer		Combined Manhole
	Abandoned Sewer		Abandoned Manhole
	Pressure Main		Other Manhole
	Private Asset (Colour denotes effluent type)		End Item
	Proposed Asset (Colour denotes effluent type)		S104 Boundary

Based on the Ordnance Survey Map with the sanction of the Controller of H.M. Stationary Office License Number:- 100019345. This map is to be used for the purposes of viewing the location of Thames Water plant only. Any other uses of the map data or further copies are not permitted. The position of the apparatus shown on this plan is given without obligation and warranty, and the accuracy cannot be guaranteed. This information is valid for the date printed. Service pipes are not shown but their presence should be anticipated. No liability of any kind whatsoever is accepted by Thames Water for any error or omission. The actual position of mains and services must be verified on site before any works are undertaken.





Appendix E

Information on Possible Contamination

Information on possible contamination has been forwarded by Epping Forest District Council by way of email of 22nd May 2013, giving information on potential contamination across all the primary sites.

This clarifies possible ground contamination derived from asbestos, made ground, hydrocarbons, petroleum hydrocarbons and the like.

It is likely that any Planning Consent will carry a Condition that all contamination issues are to be remediated.

Accordingly, we recommend that initial site investigation is undertaken for all sites that move forward to Planning Applications.

Appendix F

Cost Build-up

Gross Internal floor area	m2	ft2
Affordable Flat Units	0	0
Allowance for communal space @ 20%	0	0
Affordable House Units	279	3,003
TOTAL GIA	279	3,003

Item	Element	Qty	Unit	Rate £/unit	Total £
1.0 Demolition					
1.1	Demolition	320	m ²	50	15,991
2.2	Site clearance	521	m ²	10	5,214
1.2	Allowance for removal of asbestos	26	No	800	20,800
	Sub-total			say	40,000
2.0 Affordable Flat units (xx nr. units)					
2.1	Flats Private areas	0	m ²	1,350	0
2.2	Flats communal areas (20% allowed)	0	m ²	900	0
	Sub-total			say	0
3.0 Affordable House units (03 nr. units)					
3.1	House areas	279	m ²	1,250	349,000
	Sub-total			say	350,000
4.0 Abnormals / E/o and External Works					
4.1	Private gardens (incl. fencing)	239	m ²	40	10,000
4.2	Communal Gardens	106	m ²	30	3,000
4.3	Access road, parking and turning	343	m ²	65	22,000
4.4	Pedestrian paving	0	m ²	50	Incl.
4.5	Cross over / highways adaptations	1	item	2,000	2,000
4.6	Allowance for contaminated ground	0	item		Excl.
4.7	Boundary treatment (fencing/walls)	167	m	160	27,000
4.8	Allowance for achieving CfSh Level 3	3	nr	4,500	14,000
	Sub-total			say	80,000
			£/m2	£/ft2	
INDICATIVE CONSTRUCTION COST					470,000
CONTINGENCY @ 5%					20,000
CONTRACTORS DESIGN FEES @ 8%					39,200
PRELIMS AND OVERHEADS AT 15%					70,500
TOTAL INDICATIVE CONSTRUCTION COST					599,700

Clarifications and Assumptions

Estimate based on Pellings Feasibility drawings and standard ETG specifications
 GIA is approximate due to early stage of design
 Costs are based on a Q3 2014 start on site
 Costs are based on a Single Stage Competitive D&B procurement route
 Costs are based on a Contractor 'best programme' contract period
 All units assumed to achieve Code for sustainable Homes Level 3
 It is assumed that a traditional construction (concrete strip foundations, brick/block walls, timber floor structure, sloped tiled roofs) will be used
 Contractors design fees are based upon appointment with planning consent under JCT D&B contract
 Assumed no Party Wall or Rights of Lights issues

Exclusions

Clients professional fees (including statutory fees)
 VAT
 Hazardous material removal
 Excludes any off-site works
 Provision of loose fittings and furnishings
 Costs of compliance of any conditions imposed by TFL or other statutory bodies
 Costs of Section 106, S108, S278 Agreement(s) or Community Infrastructure Levy charges

**East Thames Housing / Epping Forest District Council
Housing Delivery Programme**

Feasibility Report

Site: 231-258 Chequers Road, Loughton IG10 3QF (Site B)

Rev: A

Ref: IJC/srs/612.023
Date: September 2014

Contents

1. Introduction and Confirmation of Brief
2. Existing Site and Surroundings
3. Proposals
4. Planning Issues and Risks
5. Impact/Implications of Statutory Services
6. Site Access and Buildability Issues
7. Neighbourly Matters and Party Walls
8. Proposed Procurement Route
9. Impact on Parking
10. Legals
11. Costs
12. Recommendations and Conclusions

Appendices

- A: Development Proposals – Drawings 612.023/P2-10A
- B: Site Photographs
- C: Existing Site Plan 201206014-Z
- D: Statutory Services Information
- E: Information on Possible Contamination
- F: Cost Build-up

1.0 Introduction and Confirmation of Brief

- 1.1. Pellings LLP are appointed as part of East Thames Group Technical Team in respect of delivery of Development Agent services to Epping Forest District Council for a six year housing delivery programme.
- 1.2. Following initial appraisal by EFDC, 59 sites have been identified as having possible development potential, with a further number of sites in reserve.
- 1.3. Pellings LLP have been instructed to progress feasibility studies to all 59 sites and which will assist in establishing the extent and timing of the overall programme.
- 1.4. Our instructions are in accordance with our fee tender of 13 August 2012, against the previously prepared tender documentation, and email confirmation of 9 April 2013.

2.0 Existing Site and Surroundings

- 2.1. The site is located in a residential area half a mile to the west of Debden station.
- 2.2. The site consists of 28 single garages and hardstanding. It also includes an electricity sub-station.
- 2.3. The existing access off Chequers Road is 4m wide. The site is abutted by residential plots on two sides, an embankment adjoining railway lines to the rear and Chequers Road at the front. There are several trees close to the rear boundary beyond the site.
- 2.4. Neighbouring housing is two storey terraced and semi-detached with front and rear gardens.
- 2.5. There are two sewer crossing the centre of the site.

3.0 Proposals

- 3.1. Read in conjunction with drawings 612.023.P2-10A attached at Appendix A.
- 3.2. The proposals are :

Erection of a 2 x two storey 2 bedroom houses each with gardens
Provision of 10 parking spaces and access/landscaping. Retention of sub-station and access thereto.
- 3.3. The proposals endeavour to take account of the issues highlighted above, with particular regard to the sewer positions.
- 3.4. We would recommend approach to Network Rail to identify any issues that might affect proposals.
- 3.5. Please note that there is an option within our proposals to retain some of the existing garages and we would like to discuss this with you further. Costings at present allow for around 50% of the existing garages being retained.

4.0 **Planning Issues and Risks**

Relevant Planning Policies/Considerations

- 4.1. The adopted Development Plan for Epping Forest District Council is the Combined Local Plan 1998 and Local Plan Alterations 2006.
- 4.2. The site is not located in a Conservation Area and it is not designated for any particular purposes in the Epping Forest District Council Combined Local Plan 1998 and Local Plan Alterations 2006. The site does not lie in a Flood Zone on the Environment Agency Flood Map.
- 4.3. There are no specific policies which prevent the loss of existing garages although policy ST4 (Road Safety) states that planning permission will only be granted where there will be no adverse effects on the highway, traffic congestion or harm to the character or appearance of the area. Parking spaces to meet with the Council's standards are proposed for the new dwellings.
- 4.4. It will be necessary to undertake a Parking Survey and to prepare a Transport Statement to demonstrate that the loss of the garages and proposed development would not cause any parking shortfalls or harm to highway conditions or the amenities of the area.
- 4.5. The site is located in the settlement of Loughton and the proposal would be consistent with policy CP7 which encourages the efficient use of existing built-up areas by the 'recycling of vacant, derelict, degraded and under-used land to accommodate the development' and the 're-use of urban sites, which are no longer appropriate to their existing or proposed use in the foreseeable future, for alternative land uses'.
- 4.6. The proposal would comply with policy H4A which states the need for a range of dwellings, including an appropriate proportion of smaller dwellings, to meet identified housing need on a site-by-site basis.
- 4.7. The development of small family homes with rear gardens and private and communal parking would be in keeping with the character and appearance of the area and may comply with Epping Forest's design policies and guidance.

5.0 **Impact/Implications of Statutory Services**

- 5.1. We have undertaken statutory services enquiries to the following:
- Southern Gas
 - Cable and Wireless
 - Virgin Media
 - Thames Water
 - BT
 - National Grid
 - Scottish and Southern Energy
 - Environment Agency
 - UK Power Networks
- 5.2. Responses received to date are from the Environment Agency, National Grid, UK Power Networks, Virgin Media and Thames Water.

- 5.3. The Environment Agency has not pointed out any watercourses which cross the site.
- 5.3.1. National Grid: No apparatus appears to be located on the site.
- 5.3.2. UK Power Networks: There is an electricity sub-station with associated cables on the site.
- 5.3.3. Virgin Media: There is a cable along the southern part of the site.
- 5.4. Thames Water: A foul water sewer and a substantial surface sewer cross through the site.
- 5.5. It should be noted there are a number of responses to enquiries that, at time of preparation of this report, have not yet been received.

6.0 **Site Access and Buildability Issues**

- 6.1. The site is accessed from existing site roads and there would not appear to be any particular difficulties for the normal level and size of construction traffic associated with a development of this nature.
- 6.2. Areas should be available for contractor's site set up and accommodation.
- 6.3. The site is within a primarily residential area, with also some retail elements nearby and, accordingly, any appointed contractor should use all best endeavours to act in a considerate manner and within normal working hours.
- 6.4. Further to initial enquiries made to EFDC, some potential contamination issues have been highlighted with use of the domestic garages, and also a former horticultural nursery. Possible contaminants in respect of the former use as a nursery are summarised and indicated within the note produced by EFDC Planning and Economic Development Directorate at Appendix E.
- 6.5. Possible contaminants in respect of the previous use of the garage site may include asbestos, ash and clinker, hydro-carbons from vehicle maintenance and the like.
- 6.6. Accordingly, suitable site investigation will need to be undertaken ahead of any proposals to take this site forward and specific recommendations made to deal with any contamination found, whether by capping or removal from site.

7.0 **Neighbourly Matters and Party Walls**

- 7.1. As above, the proposed development site is within a primarily residential area and the appointed contractor should act in a considerate manner. It is proposed that restrictions on working hours, noise levels, requirement for resident liaison and similar matters will be included within contract documentation.
- 7.2. From proposals on Drawing 612.023/P2-10A, implications of constructing alongside the existing substation will need to be considered.

8.0 **Proposed Procurement Route**

- 8.1. It is understood that development works will be procured by way of the East Thames Housing Group existing contractor framework arrangements.

- 8.2. It is proposed that works shall be procured on a Design and Build basis with the contractors taking forward RIBA Stage D planning consent drawings into detailed design and construction delivery on site.
- 8.3. Schemes shall be designed to a set of Employer's Requirements to be subsequently confirmed but which substantially shall be formed from existing East Thames Housing Group Design Standards and Employer's Requirement documentation.
- 8.4. It is proposed that all site preparation works will be included within individual contract packages including any required demolitions, adjustment of statutory services, highways works and boundary maintenance/reinstatement/provision.
- 8.5. On completion of the feasibility studies for the whole programme, further recommendations will be made in terms of how works are packaged to ensure size of work packages are optimised for ensuring maximum economies for East Thames Housing Group and EFDC.
- 8.6. It is considered, at this stage, that this may be by way of a mix of different sized contractors dependent upon the numbers and geographical location of individual works packages.
- 8.7. Works will be administered by Pellings LLP as Employer's Agent acting in accordance with East Thames Housing Group terms of appointment and the overarching requirements of the Development Agency agreement.

9.0 **Impact on Parking**

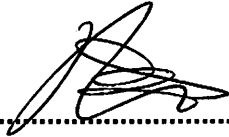
- 9.1. The Council's currently adopted parking standards are contained within Essex County Council's Parking Standards Design and Good Practice Guide – September 2009. These revised standards were adopted by the Council as statutory planning guidance in February 2012.
- 9.2. Flats and houses have the same parking standard as follows:
- 1 bedroom accommodation – 1 space per dwelling
 - 2 bedroom accommodation and above – 2 spaces per dwelling
 - Visitor parking – 0.25 spaces per dwelling (rounded up to the nearest whole number)
- 9.3. The proposals would appear to more than meet the Council's parking standards for new development.
- 9.4. However, should the site move forward to planning application stages, it is recommended that a Transport Statement be undertaken, including parking surveys, to demonstrate that the loss of the garages will not give rise to any planning or highway problems.
- 9.5. As indicated above there is an option for this site to retain a substantial number of the existing garages.

10.0 **Legals**

- 10.1. We have been provided with a Summary Report of legal matters from EFDC Solicitors. The report makes reference to the suggested appropriation of land for planning purposes which would extinguish any prior rights of way.

- 10.2. The report makes reference to possible rights of light risk. A blanket policy against such risk might be considered.
- 10.3. The Legals Report advises that there is a small strip of land adjacent to No. 75 Chequers Road that is within the ownership of No. 75 and therefore outside of the title ownership of EFDC. This may require a slight alteration to the proposed parking provision for this site, which will be dealt with at detailed planning application stage, and does not affect the ability of the site to be developed.
- 10.4. Proposals take account of the existing substation.
- 11.0 **Costs**
- 11.1. It is considered that a budget of £402,900.00 should be allowed for this scheme, inclusive of contractor design fees, but exclusive of professional fees and VAT. Please refer to Appendix F.
- 12.0 **Recommendations and Conclusions**
- 12.1. Subject to an overall lifetime cost appraisal, we conclude that the site appears to have economic development opportunities and we recommend is considered for taking forward to planning application stage, with a view to incorporating into the overall programme.

Signed:


.....

Date:

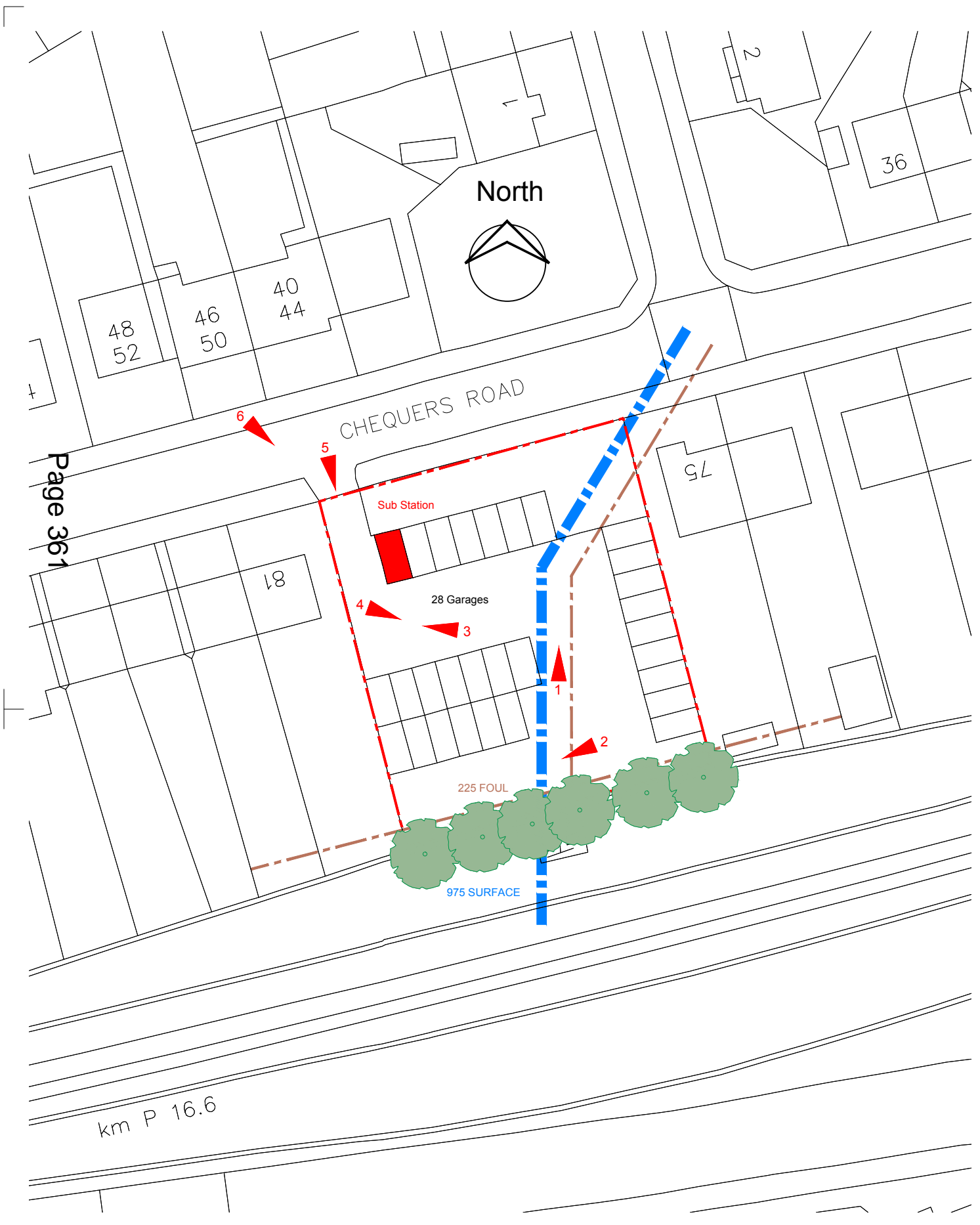
1st October 2014
.....

Pellings LLP

Appendix A

Development Proposals

Drawings 612.023.P2-10A



Page 361



TOTALS
 Site Area 0.114 Ha
 2 x 2 Bed Houses @ 77 sqm
 10 Parking Spaces

NOTES:
 Report all discrepancies, errors and omissions
 Do not scale from this drawing.
 Verify all dimensions on site before commencing any work or preparing shop drawings.
 All materials, components and workmanship are to comply with all the relevant British Standards, Codes of Practice, and appropriate manufacturers recommendations that from time to time shall apply.
 For all specialist work, see relevant drawings.
 This drawing and design are copyright of PELLINGS LLP

PRELIMINARY

Rev	Date	Description	Name
-	-/-/-		



Pellings LLP 24 Widmore Road Bromley Kent BR1 1RY t 020 8460 9114 f 020 8313 0019 e bromley@pellings.co.uk www.pellings.co.uk		Architecture & Planning ■ Building Surveying ■ Project Management ■ Cost Consultancy ■ CDM Co-ordination	
CLIENT	East Thames HA	PROJECT	EFDC House Building Programme
TITLE	Existing and Proposed Plans Chequers Road Site B	DATE	NOV 2013
		SCALE	1:500 @A3
		DRAWN	NP
		CHK	
DRAWING No		612 023 P2-10 A	

Appendix B

Site Photographs

Appendix B - Site Photographs

1.



2.



3.



4.



5.



6.



Appendix C

Existing Site Plan



Contains Ordnance Survey & Royal Mail Data
 © Crown Copyright & Database Right 2011
 EFDC License No: 100018534 2011

Directorate of Environment & Street Scene
 Civic Offices
 High Street
 Epping, Essex,
 CM16 4BZ
 Tel. 01992 564000

Project
 Potential Site for Council House
 Building Program

Drawing No.
 201206014 - Z

Content
 Site B
 Chequers Road
 Loughton

Date
 04/07/12

Scale
 1:1250 @ A4

Drawn By
 Robert Irwin

Appendix D

Statutory Services Information

nationalgrid

Adam Greenhalgh
Pellings
24 Widmore Road
Bromley
Kent
BR1 1RY

Plant Protection
National Grid
Block 1; Floor 1
Brick Kiln Street
Hinckley
LE10 0NA
E-mail: plantprotection@nationalgrid.com
Telephone: +44 (0)800 688588

National Grid Electricity Emergency Number:
0800 40 40 90*

National Gas Emergency Number:
0800 111 999*

* Available 24 hours, 7 days/week.
Calls may be recorded and monitored.

www.nationalgrid.com

Date: 23/10/2013
Our Ref: NL_TE_Z6_3SW_041935
Your Ref: AG/DH/612.023/02

RE: Proposed Works, IG10 3QA,site B,chequers road,loughton,essex

Thank you for your enquiry which was received on 17/10/2013.

Please note this response and any attached map(s) are valid for 28 days.

An assessment has been carried out with respect to National Grid Electricity Transmission plc's and National Grid Gas plc's apparatus. Please note it does not cover the items listed in the section "Your Responsibilities and Obligations", including gas service pipes and related apparatus.

For details of National Grid's network areas please see the National Grid website (<http://www.nationalgrid.com/uk/Gas/Safety/work/>) or the enclosed documentation.

As your works are at a "proposed" stage, any maps and guidance provided are for information purposes only. This is not approval to commence work. You must submit a "Scheduled Works" enquiry at the earliest opportunity and failure to do this may lead to disruption to your plans and works. National Grid will endeavour to provide an initial assessment within 14 days of receipt of a Scheduled Works enquiry and dependent on the outcome of this, further consultation may be required.

In any event, for safety and legal reasons, works must not be carried out until a Scheduled Works enquiry has been completed and final response received.

National Grid is a trading name for:
National Grid Electricity Transmission plc
Registered Office: 1-3 Strand, London WC2N 5EH
Registered in England and Wales, No 2366977

National Grid is a trading name for:
National Grid Gas plc
Registered Office: 1-3 Strand, London WC2N 5EH
Registered in England and Wales, No 2006000

Your Responsibilities and Obligations

The "Assessment" Section below outlines the detailed requirements that must be followed when planning or undertaking your scheduled activities at this location.

It is your responsibility to ensure that the information you have submitted is accurate and that all relevant documents including links are provided to all persons (either direct labour or contractors) working for you near National Grid's apparatus, e.g. as contained within the Construction (Design and Management) Regulations.

This assessment solely relates to National Grid Electricity Transmission plc (NGET) and National Grid Gas plc (NGG) apparatus. This assessment does **NOT** include:

- National Grid's legal interest (easements or wayleaves) in the land which restricts activity in proximity to National Grid's assets in private land. You must obtain details of any such restrictions from the landowner in the first instance and if in doubt contact National Grid.
- Gas service pipes and related apparatus
- Recently installed apparatus
- Apparatus owned by other organisations, e.g. other gas distribution operators, local electricity companies, other utilities, etc.

It is **YOUR** responsibility to take into account whether the items listed above may be present and if they could be affected by your proposed activities. Further "Essential Guidance" in respect of these items can be found on the National Grid Website (<http://www.nationalgrid.com/NR/rdonlyres/6D6525F9-59EB-4825-BA89-DBD7E68882C7/51319/EssentialGuidance.pdf>).

This communication does not constitute any formal agreement or consent for any proposed development work; either generally or with regard to National Grid's easements or wayleaves nor any planning or building regulations applications.

NGG and NGET or their agents, servants or contractors do not accept any liability for any losses arising under or in connection with this information. This limit on liability applies to all and any claims in contract, tort (including negligence), misrepresentation (excluding fraudulent misrepresentation), breach of statutory duty or otherwise. This limit on liability does not exclude or restrict liability where prohibited by the law nor does it supersede the express terms of any related agreements.

If you require further assistance please contact the National Grid Plant Protection team via e-mail ([click here](#)) or via the contact details at the top of this response.

Yours faithfully

National Grid Plant Protection Team

ASSESSMENT

Affected Apparatus

The National Grid apparatus that has been identified as being in the vicinity of your proposed works is:

- Low or Medium pressure (below 2 bar) gas pipes and associated equipment. (As a result it is highly likely that there are gas services and associated apparatus in the vicinity)

Requirements

BEFORE carrying out any work you must:

- Carefully read these requirements including the attached guidance documents and maps showing the location of National Grid apparatus.
- Contact the landowner and ensure any proposed works in private land do not infringe National Grid's legal rights (i.e. easements or wayleaves). If the works are in the road or footpath the relevant local authority should be contacted.
- Ensure that all persons, including direct labour and contractors, working for you on or near National Grid's apparatus follow the requirements of the HSE Guidance Notes HSG47 - 'Avoiding Danger from Underground Services' and GS6 – 'Avoidance of danger from overhead electric power lines'. This guidance can be downloaded free of charge at <http://www.hse.gov.uk>
- In line with the above guidance, verify and establish the actual position of mains, pipes, cables, services and other apparatus on site before any activities are undertaken.

GUIDANCE

Excavating Safely - Avoiding injury when working near gas pipes:

http://www.nationalgrid.com/NR/rdonlyres/2D2EEA97-B213-459C-9A26-18361C6E0B0D/25249/Digsafe_leaflet3e2finalamends061207.pdf

Standard Guidance

Essential Guidance document:

<http://www.nationalgrid.com/NR/rdonlyres/6D6525F9-59EB-4825-BA89-DBD7E68882C7/51319/EssentialGuidance.pdf>

General Guidance document:

<http://www.nationalgrid.com/NR/rdonlyres/55C13C4D-A1AA-4B13-BFDA-1CF59F88B326/51318/GeneralGuidance.pdf>

Excavating Safely in the vicinity of gas pipes guidance (Credit card):

<http://www.nationalgrid.com/NR/rdonlyres/A3D37677-6641-476C-9DDA-E89949052829/44257/ExcavatingSafelyCreditCard.pdf>

Excavating Safely in the vicinity of electricity cables guidance (Credit card):

<http://www.nationalgrid.com/NR/rdonlyres/35DDEC6D-D754-4BA5-AF3C-D607D05A25C2/44858/ExcavatingSafelyCreditCardelectricitycables.pdf>

Copies of all the Guidance Documents can also be downloaded from the National Grid Website:

<http://www.nationalgrid.com/uk/Gas/Safety/work/downloads/>

ENQUIRY SUMMARY

Received Date

17/10/2013

Your Reference

AG/DH/612.023/02

Location

Centre Point: 543513, 195811

X Extent: 40

Y Extent: 46

Postcode: IG10 3QA

Location Description: IG10 3QA,site B,chequers road,loughton,essex

Map Options

Paper Size: A4

Orientation: LANDSCAPE

Requested Scale: 500

Actual Scale: 1:1250 (GAS)

Real World Extents: 361m x 196m (GAS)

Recipients

pprsteam@uk.ngrid.com

Enquirer Details

Organisation Name: Pellings

Contact Name: Adam Greenhalgh

Email Address: bromley@pellings.co.uk

Telephone: 0208 460 9114

Address: 24 Widmore Road, Bromley, Kent, BR1 1RY

Description of Works

MAP FOR INFORMATION PURPOSES

Enquiry Type

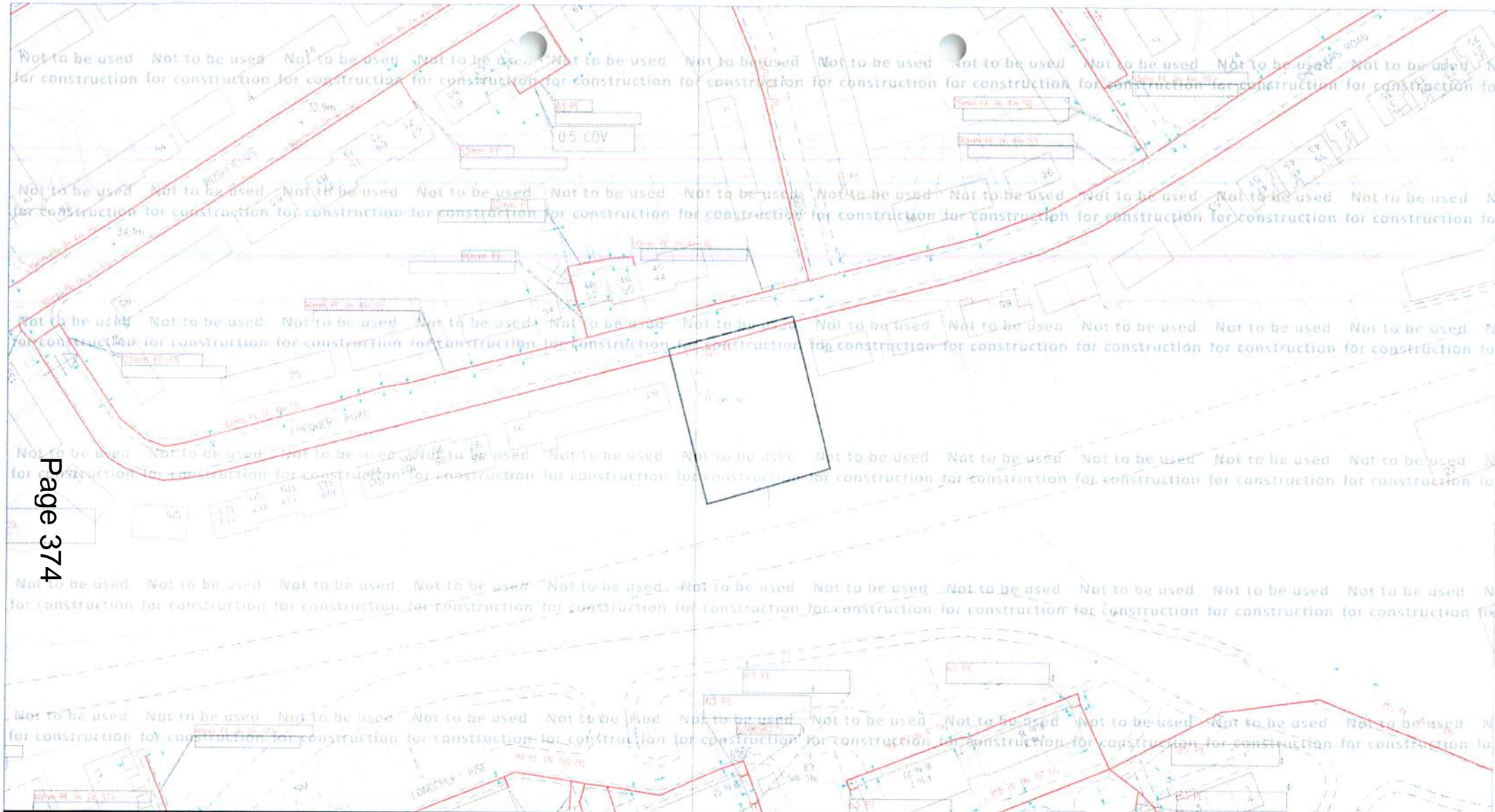
Proposed Works

Activity Type

General Excavation

Work Types

Work Type: Plans Only



ID: NL_TE_Z6_3SW_041935
 USER: roy.x.jones
 DATE: 23/10/2013
 DATA DATE: 15/10/2013
 REF: AG/DH/612.023/02
 MAP REF: TQ4395
 CENTRE: 543513, 195811

View extent: 361m, 196m

LP MAINS
 MP MAINS
 IP MAINS
 LHP MAINS
 NHP MAINS

0m 25m
 Approximate scale 1:1250
 on A4 Colour Landscape

Map not to be used for construction

This plan shows those pipes owned by National Grid Gas plc in its role as a Licensed Gas Transporter (GT). Gas pipes owned by other GTs, or otherwise privately owned, may be present in this area. Information with regard to such pipes should be obtained from the relevant owners. The information shown on this plan is given without warranty, the accuracy thereof cannot be guaranteed. Service pipes, valves, syphons, stub connections, etc., are not shown but their presence should be anticipated. No liability of any kind whatsoever is accepted by National Grid Gas plc or their agents, servants or contractors for any error or omission. Safe digging practices, in accordance with HS(G)47, must be used to verify and establish the actual position of mains, pipes, services and other apparatus on site before any mechanical plant is used. It is your responsibility to ensure that this information is provided to all persons (either direct labour or contractors) working for you on or near gas apparatus. The information included on this plan should not be referred to beyond a period of 28 days from the date of issue.

Map 1 of 1 (GAS)

MAPS Plot Server Version 1.7.6

nationalgrid

Requested by: Pellings

This plan is reproduced from or based on the OS map by National Grid Gas plc, with the sanction of the controller of HM Stationery Office. Crown Copyright Reserved. Ordnance Survey Licence number 100024886

Valve Depth of Cover Syphon Diameter Change Material Change

Adam Greenhalgh

From: SPHatfield <SPHatfield@environment-agency.gov.uk>
Sent: 23 October 2013 17:49
To: Adam Greenhalgh
Subject: RE: Epping Forest DC - potential development sites

Dear Adam,

Further to your letters dated 16 October (your ref: AG/dh/612.023/05), we have the following comments to make on the specific sites listed below (please note that comments on three sites – Rear of shops, Loughton Way, Buckhurst Hill; Pentlow Way, Buckhurst Hill and Site B, Marlescroft Way, Loughton – will follow on or before 7 November due to additional site constraints).

Sites: Burton Road, Debden
White Hills, Loughton
Thatchers Close, Loughton
Site A, Pyries (**note:** should be 'Pyrles') Lane, Loughton
Site B, Pyries (**note:** should be 'Pyrles') Lane, Loughton
Site A, Chequers Road, Loughton
Site B, Chequers Road, Loughton
Site A, Langley Meadow, Loughton
Site B, Langley Meadow, Loughton
Hornbeam Close, Buckhurst Hill
Hornbeam House, Hornbeam Road, Buckhurst Hill
Bourne House, Hornbeam Road, Buckhurst Hill
Bushfields, Loughton
Etheridge Road, Loughton
Lower Alderton Hall Lane, Loughton
Ladyfields, Loughton
Kirby Close, Loughton
Chester Road, Loughton
Hillyfields, Loughton

Comments

As we are in an area of serious water stress, we endorse the efficient use of water resources. Residential developments such as your proposal should take advantage of water efficient technologies. This is in line with Epping Forest's local policy CP5 which states that the efficient use of water is encouraged through water efficient appliances and rainwater harvesting for example.

We suggest you use water efficiency measures and aim to achieve 105 litres/person/day. This is equivalent to level 3/4 for water within the Code for Sustainable Homes. Achieving this standard within new homes can be accomplished at very little additional cost, and is significantly cheaper than retrofitting such measures later.

Every opportunity should be taken to maximise Sustainable Drainage Systems (SuDS) such as green roofs, ponds, swales and permeable pavements, to alleviate surface water runoff. I have attached a copy of our SuDS guidance, which contains the SuDS hierarchy, to help you with your designs. The methods at the top of the hierarchy are preferred because they are beneficial in terms of sustainability and biodiversity. The hierarchy should be used in descending order. Tanks should only be used as a last resort. Epping Forest's local policy U3B on sustainable drainage systems advocates this approach.

As the sites are all under a hectare in Flood Zone 1, they fall within cell F5 of our Flood Risk Standing Advice consultation matrix. Epping Forest Local Planning Authority will therefore be responsible for assessing flood risk at these sites.


Kind regards,

Clark Gordon
Sustainable Places Planning Advisor
Environment Agency
North East Thames Area - Hatfield Team
01707 632308



The climate is changing. Are you?

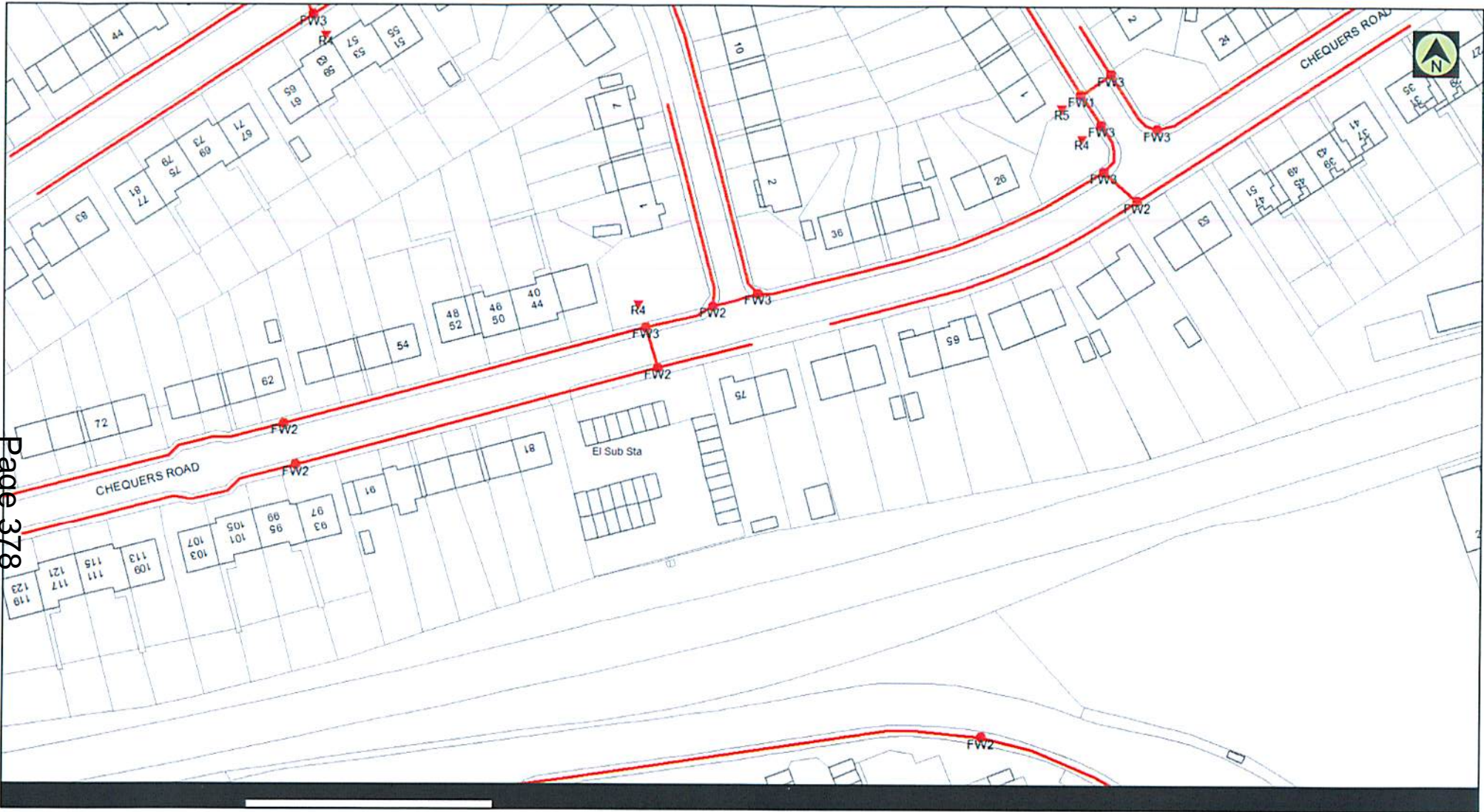
A support service led by the Environment Agency
www.environment-agency.gov.uk/climate-ready

 please consider the environment - do you really need to print this email?

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We have checked this email and its attachments for viruses. But you should still check any attachment before opening it.

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Date: 24/10/13

Scale: 1:1083

Map Centre: 543532.3,195822.3

Data updated: 25/08/13

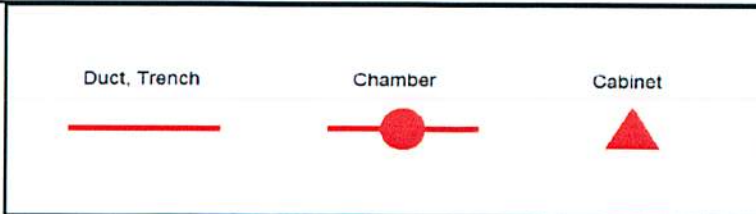
Telecoms Plan A4

Important Information - please read

The purpose of this plan is to identify Virgin Media apparatus. We have tried to make it as accurate as possible but we cannot warrant its accuracy. In addition, we caution that within Virgin Media apparatus there may be instances where mains voltage power cables have been placed inside green, rather than black ducting. Further details can be found using the 'Affected Postcodes.pdf', which can be downloaded from this website.

Therefore, you must not rely solely on this plan if you are carrying out any excavation or other works in the vicinity of Virgin Media apparatus. The actual position of any underground service must be verified by cable detection equipment, etc. and established on site before any mechanical plant is used. Accordingly, unless it is due to the negligence of Virgin Media, its employees or agents, Virgin Media will not have any liability for any omissions or inaccuracies in the plan or for any loss or damage caused or arising from the use of and/or any reliance on this plan.

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agreenhalgh@pellings.co.uk





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Date: 23/10/13

Scale: 1:1083

Map Centre: 543532.3,195822.3

Data updated: 16/08/13

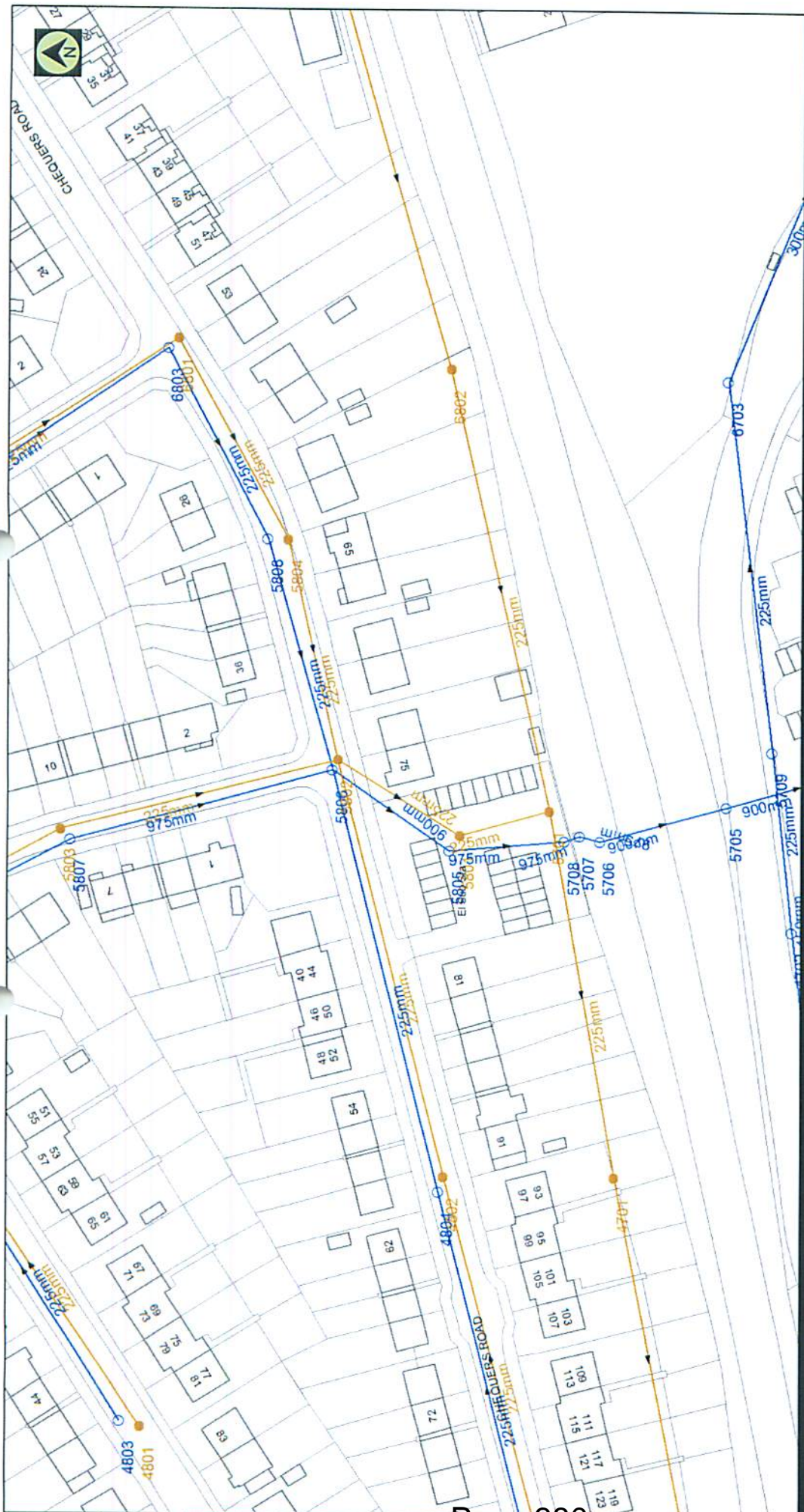
Clean Water Plan A4

Based on the Ordnance Survey Map with the sanction of the Controller of H.M. Stationary Office License Number:- 100019345. This map is to be used for the purposes of viewing the location of Thames Water plant only. Any other uses of the map data or further copies are not permitted. The position of the apparatus shown on this plan is given without obligation and warranty, and the accuracy cannot be guaranteed. This information is valid for the date printed. Service pipes are not shown but their presence should be anticipated. No liability of any kind whatsoever is accepted by Thames Water for any error or omission. The actual position of mains and services must be verified on site before any works are undertaken.

Water Main		Meter	
Private Water		Valve	
Proposed Water		Hydrant	
Abandoned Asset		End Item	

agreenhalgh@pellings.co.uk





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agreenhalgh@pellings.co.uk

	Foul Manhole
	Surface Manhole
	Combined Manhole
	Abandoned Manhole
	Other Manhole
	End Item
	S104 Boundary
	Foul Sewer
	Surface Sewer
	Combined Sewer
	Abandoned Sewer
	Pressure Main
	Private Asset (Colour denotes effluent type)
	Proposed Asset (Colour denotes effluent type)

Based on the Ordnance Survey Map with the sanction of the Controller of H.M. Stationary Office License Number:- 100019345. This map is to be used for the purposes of viewing the location of Thames Water plant only. Any other uses of the map data or further copies are not permitted. The position of the apparatus shown on this plan is given without obligation and warranty, and the accuracy cannot be guaranteed. This information is valid for the date printed. Service pipes are not shown but their presence should be anticipated. No liability of any kind whatsoever is accepted by Thames Water for any error or omission. The actual position of mains and services must be verified on site before any works are undertaken.





Appendix E

Information on Possible Contamination

Information on possible contamination has been forwarded by Epping Forest District Council by way of email of 22nd May 2013, giving information on potential contamination across all the primary sites.

This clarifies possible ground contamination derived from asbestos, made ground, hydrocarbons, petroleum hydrocarbons and the like.

There is further possible contamination from the existing substation on the site.

It is likely that any Planning Consent will carry a Condition that all contamination issues are to be remediated.

Accordingly, we recommend that initial site investigation is undertaken for all sites that move forward to Planning Applications.

Appendix F

Cost Build-up

Gross Internal floor area	m2	ft2
Affordable Flat Units	0	0
Allowance for communal space @ 20%	0	0
Affordable House Units	154	1,658
TOTAL GIA	154	1,658

Item	Element	Qty Unit	Rate £/unit	Total £
1.0 Demolition				
1.1	Demolition	233 m ²	50	11,647
2.2	Site clearance	917 m ²	10	9,174
1.2	Allowance for removal of asbestos	28 No	800	22,400
	Sub-total		say	40,000
2.0 Affordable Flat units (xx nr. units)				
2.1	Flats Private areas	0 m ²	1,350	0
2.2	Flats communal areas (20% allowed)	0 m ²	900	0
	Sub-total		say	0
3.0 Affordable House units (02 nr. units)				
3.1	House areas	154 m ²	1,250	193,000
	Sub-total		say	190,000
4.0 Abnormals / E/o and External Works				
4.1	Private gardens (incl. fencing)	131 m ²	40	5,000
4.2	Communal Gardens	107 m ²	30	3,000
4.3	Access road, parking and turning	597 m ²	65	39,000
4.4	Pedestrian paving	0 m ²	50	Incl.
4.5	Cross over / highways adaptations	2 item	2,000	4,000
4.6	Allowance for contaminated ground	0 item		Excl.
4.7	Boundary treatment (fencing/walls)	135 m	160	22,000
4.8	Allowance for achieving CfSh Level 3	2 nr	4,500	9,000
	Sub-total		say	80,000
		£/m2	£/ft2	
	INDICATIVE CONSTRUCTION COST			310,000
	CONTINGENCY @ 5%			20,000
	CONTRACTORS DESIGN FEES @ 8%			26,400
	PRELIMS AND OVERHEADS AT 15%			46,500
	TOTAL INDICATIVE CONSTRUCTION COST	2,616		402,900

Clarifications and Assumptions

Estimate based on Pellings Feasibility drawings and standard ETG specifications
 GIA is approximate due to early stage of design
 Costs are based on a Q3 2014 start on site
 Costs are based on a Single Stage Competitive D&B procurement route
 Costs are based on a Contractor 'best programme' contract period
 All units assumed to achieve Code for sustainable Homes Level 3
 It is assumed that a traditional construction (concrete strip foundations, brick/block walls, timber floor structure, sloped tiled roofs) will be used
 Contractors design fees are based upon appointment with planning consent under JCT D&B contract
 Assumed no Party Wall or Rights of Lights issues

Exclusions

Clients professional fees (including statutory fees)
 VAT
 Hazardous material removal
 Excludes any off-site works
 Provision of loose fittings and furnishings
 Costs of compliance of any conditions imposed by TFL or other statutory bodies
 Costs of Section 106, S108, S278 Agreement(s) or Community Infrastructure Levy charges

**East Thames Housing / Epping Forest District Council
Housing Delivery Programme**

Feasibility Report

Site: 581-591 Marlescroft Way, Loughton IG10 3LZ

Rev: A

Ref: IJC/srs/612.023
Date: September 2014

Contents

1. Introduction and Confirmation of Brief
2. Existing Site and Surroundings
3. Proposals
4. Planning Issues and Risks
5. Impact/Implications of Statutory Services
6. Site Access and Buildability Issues
7. Neighbourly Matters and Party Walls
8. Proposed Procurement Route
9. Impact on Parking
10. Legals
11. Costs
12. Recommendations and Conclusions

Appendices

- A: Development Proposals – Drawings 612.023/P2-11B
- B: Site Photographs
- C: Existing Site Plan 201296914 - AN
- D: Statutory Services Information
- E: Information on Possible Contamination
- F: Cost Build-up

1.0 Introduction and Confirmation of Brief

- 1.1. Pellings LLP are appointed as part of East Thames Group Technical Team in respect of delivery of Development Agent services to Epping Forest District Council for a six year housing delivery programme.
- 1.2. Following initial appraisal by EFDC, 59 sites have been identified as having possible development potential, with a further number of sites in reserve.
- 1.3. Pellings LLP have been instructed to progress feasibility studies to all 59 sites and which will assist in establishing the extent and timing of the overall programme.
- 1.4. Our instructions are in accordance with our fee tender of 13 August 2012, against the previously prepared tender documentation, and email confirmation of 9 April 2013.

2.0 Existing Site and Surroundings

- 2.1. The site is located in a residential estate 500m to the west of Debden station.
- 2.2. The site consists of 11 single garages with some forming part of the lower ground floor footprint of a four storey block of flats. Immediately in front of the site is a hardstanding/road which serves the estate and to the west is a footpath and a grassed area.
- 2.3. The surrounding estate consists of flat roofed concrete panelled two storey houses and four storey flats.

3.0 Proposals

- 3.1. Read in conjunction with drawings 612.023.P2-11B attached at Appendix A.
- 3.2. The proposals are :

Conversion of garages into 2 x 2 bedroom lower ground floor flats and provision of 4 car parking spaces on adjoining grassed area.

4.0 Planning Issues and Risks

Relevant Planning Policies/Considerations

- 4.1. **The adopted Development Plan for Epping Forest District Council is the Combined Local Plan 1998 and Local Plan Alterations 2006.**
- 4.2. The site is not located in a Conservation Area and it is not designated for any particular purposes in the Epping Forest District Council Combined Local Plan 1998 and Local Plan Alterations 2006. The site partly lies in Flood Zone 2 on the Environment Agency Flood Map.
- 4.3. There are no specific policies which prevent the loss of existing garages although policy ST4 (Road Safety) states that planning permission will only be granted where there will be no adverse effects on the highway, traffic congestion or harm to the character or appearance of the area. Parking spaces to meet with the Council's standards are proposed for the new dwellings.

- 4.4. It will be necessary to undertake a Parking Survey and to prepare a Transport Statement to demonstrate that the loss of the garages and proposed development would not cause any parking shortfalls or harm to highway conditions or the amenities of the area.
- 4.5. The site is located in the settlement of Loughton and the proposal would be consistent with policy CP7 which encourages the efficient use of existing built-up areas by the 'recycling of vacant, derelict, degraded and under-used land to accommodate the development' and the 're-use of urban sites, which are no longer appropriate to their existing or proposed use in the foreseeable future, for alternative land uses'.
- 4.6. The proposal would comply with policy H4A which states the need for a range of dwellings, including an appropriate proportion of smaller dwellings, to meet identified housing need on a site-by-site basis.
- 4.7. The development of small family homes with parking would be in keeping with the character and appearance of the area and may comply with Epping Forest's design policies and guidance.

5.0 **Impact/Implications of Statutory Services**

- 5.1. We have undertaken statutory services enquiries to the following:
- Southern Gas
 - Cable and Wireless
 - Virgin Media
 - Thames Water
 - BT
 - National Grid
 - Scottish and Southern Energy
 - Environment Agency
 - UK Power Networks
- 5.2. Responses received to date are from the Environment Agency, National Grid, UK Power Networks, Virgin Media and Thames Water.
- 5.3. The Environment Agency has pointed out that the site partly lies in Flood Zone 2 and that the Sequential Test will have to be passed and a satisfactory Flood Risk Assessment submitted.
- 5.3.1. National Grid: No apparatus appears to be located on the site.
- 5.3.2. UK Power Networks: No apparatus appears to be located on the site.
- 5.3.3. Virgin Media: There is a cable along the southern part of the site.
- 5.4. Thames Water: There are no drains/sewers on the site. There is a foul water sewer approximately 3.5m in front of the site.
- 5.5. It should be noted there are a number of responses to enquiries that, at time of preparation of this report, have not yet been received.

6.0 **Site Access and Buildability Issues**

- 6.1. The site is accessed from existing site roads and there would not appear to be any particular difficulties for the normal level and size of construction traffic associated with a development of this nature.
- 6.2. Areas should be available for contractor's site set up and accommodation.
- 6.3. The site is within a primarily residential area and, accordingly, any appointed contractor should use all best endeavours to act in a considerate manner and within normal working hours.
- 6.4. Further to initial enquiries made to EFDC, some potential contamination issues have been highlighted with use of the domestic garages, and also a former horticultural nursery. Possible contaminants in respect of the former use as a nursery are summarised and indicated within the note produced by EFDC Planning and Economic Development Directorate at Appendix E.
- 6.5. Possible contaminants in respect of the previous use of the garage site may include asbestos, ash and clinker, hydro-carbons from vehicle maintenance and the like.
- 6.6. Accordingly, suitable site investigation will need to be undertaken ahead of any proposals to take this site forward and specific recommendations made to deal with any contamination found, whether by capping or removal from site.
- 6.7. Potentially, part of the site may be located within the lower ground floor of the existing building. The integrity and longevity of the existing building structure will need to be checked to ensure proposed accommodation is not compromised, and the impact on thermal and acoustic issues would also need to be considered. In addition, it should be assumed that domestic services serving the existing building might need to be altered, and/or enhanced to accommodate increased capacities.

7.0 **Neighbourly Matters and Party Walls**

- 7.1. As above, the proposed development site is within a primarily residential area and the appointed contractor should act in a considerate manner. It is proposed that restrictions on working hours, noise levels, requirement for resident liaison and similar matters will be included within contract documentation.
- 7.2. From proposals on Drawing 612.023/P2-11B, Party Wall matters will be relevant to development, particularly below ground floor accommodation of the existing building.
- 7.3. Confirmation of ownership will be required in due course.
- 7.4. Such Party Wall matters may be undertaken ahead of the build contract by direct appointment by EFDC, or included as a requirement for the contractor to deal with within the build contract. This later approach, however, would carry increased risk to programme and cost.

8.0 **Proposed Procurement Route**

- 8.1. It is understood that development works will be procured by way of the East Thames Housing Group existing contractor framework arrangements.

- 8.2. It is proposed that works shall be procured on a Design and Build basis with the contractors taking forward RIBA Stage D planning consent drawings into detailed design and construction delivery on site.
- 8.3. Schemes shall be designed to a set of Employer's Requirements to be subsequently confirmed but which substantially shall be formed from existing East Thames Housing Group Design Standards and Employer's Requirement documentation.
- 8.4. It is proposed that all site preparation works will be included within individual contract packages including any required demolitions, adjustment of statutory services, highways works and boundary maintenance/reinstatement/provision.
- 8.5. On completion of the feasibility studies for the whole programme, further recommendations will be made in terms of how works are packaged to ensure size of work packages are optimised for ensuring maximum economies for East Thames Housing Group and EFDC.
- 8.6. It is considered, at this stage, that this may be by way of a mix of different sized contractors dependent upon the numbers and geographical location of individual works packages.
- 8.7. Works will be administered by Pellings LLP as Employer's Agent acting in accordance with East Thames Housing Group terms of appointment and the overarching requirements of the Development Agency agreement.

9.0 **Impact on Parking**

- 9.1. The Council's currently adopted parking standards are contained within Essex County Council's Parking Standards Design and Good Practice Guide – September 2009. These revised standards were adopted by the Council as statutory planning guidance in February 2012.
- 9.2. Flats and houses have the same parking standard as follows:
- 1 bedroom accommodation – 1 space per dwelling
 - 2 bedroom accommodation and above – 2 spaces per dwelling
 - Visitor parking – 0.25 spaces per dwelling (rounded up to the nearest whole number)

9.3. The proposals would quite possibly meet the Council's parking standards for new development.

9.4. However, should the site move forward to planning application stages, it is recommended that a Transport Statement be undertaken, including parking surveys, to demonstrate that the loss of the garages will not give rise to any planning or highway problems.

10.0 **Legals**

10.1. We have been provided with a Summary Report of legal matters from EFDC Solicitors. The report makes reference to the suggested appropriation of land for planning purposes which would extinguish any prior rights of way.

10.2. The report makes reference to possible rights of light risk. A blanket policy against such risk might be considered.

10.3. Housing Management Report advises of access to existing unit by way of 2 external staircases. However, these are unaffected by the proposals.

10.4. No rights of way or access specifically identified.

10.5. It is noted that there appears to be significant surface water flooding risk from ground water and the site is within Flood Zone 2.

11.0 Costs

11.1. It is considered that a budget of £318,300.00 should be allowed for this scheme, inclusive of contractor design fees, but exclusive of professional fees and VAT. Please refer to Appendix F.

12.0 Recommendations and Conclusions

12.1. It is considered that, whilst there are options to develop this site, there are difficulties in achieving an economic solution together with issues of the site sitting in the flood plain, possibly leading to solutions that have been constructed to date. We would suggest that other sites may be more suitable and would offer more viable opportunities for new housing.

Signed:


.....

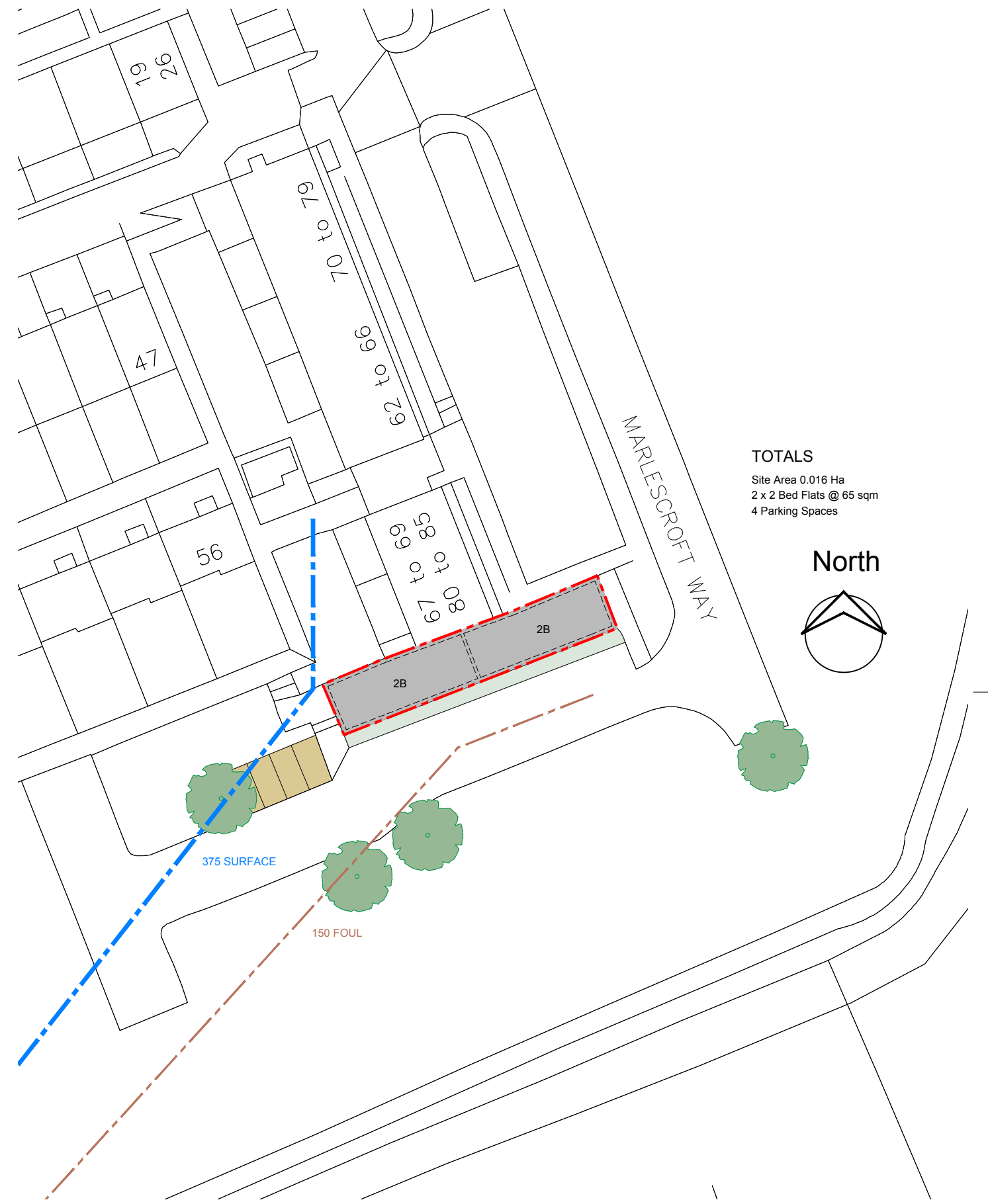
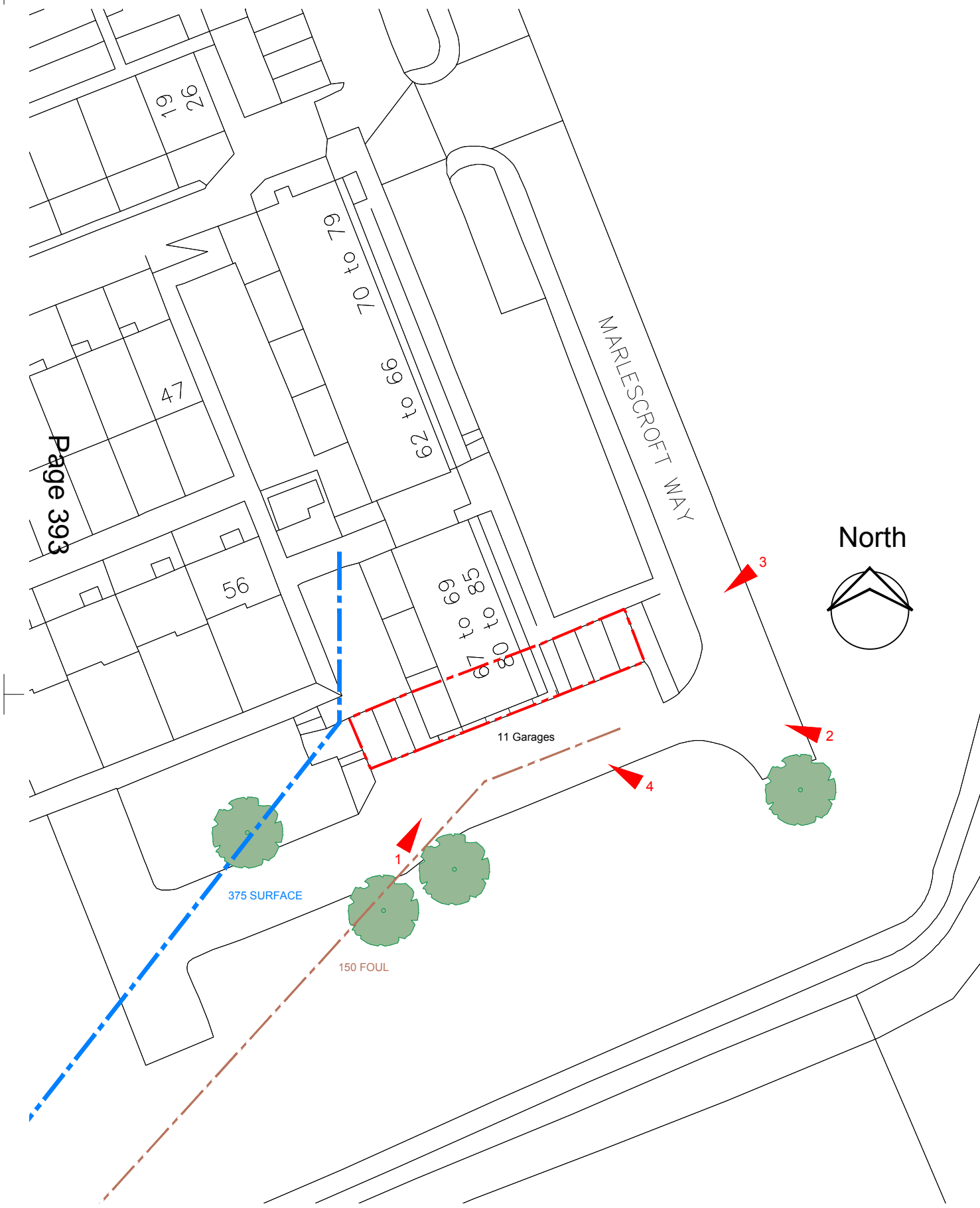
Pellings LLP

Date: 1st October 2014

Appendix A

Development Proposals

Drawings 612.023.P2-11B



TOTALS
 Site Area 0.016 Ha
 2 x 2 Bed Flats @ 65 sqm
 4 Parking Spaces

NOTES:
 Report all discrepancies, errors and omissions
 Do not scale from this drawing.
 Verify all dimensions on site before commencing any work or preparing shop drawings.
 All materials, components and workmanship are to comply with all the relevant British Standards, Codes of Practice, and appropriate manufacturers recommendations that from time to time shall apply.
 For all specialist work, see relevant drawings.
 This drawing and design are copyright of PELLINGS LLP

PRELIMINARY

Rev	Date	Description	Name
-	--/--		



Pellings LLP 24 Widmore Road Bromley Kent BR1 1RY t 020 8460 9114 f 020 8313 0019 e bromley@pellings.co.uk www.pellings.co.uk		Architecture & Planning ■ Building Surveying ■ Project Management ■ Cost Consultancy ■ CDM Co-ordination			
CLIENT	East Thames HA	PROJECT	EFDC House Building Programme		
TITLE	Existing and Proposed Plans Marlescroft Way	DATE	NOV 2013	SCALE	1:500 @A3
		DRAWN	NP	CHK	
DRAWING No		612 023 P2-11 B			

Appendix B

Site Photographs

Appendix B - Site Photographs

1.



2.



3.



4.



Appendix C

Existing Site Plan



Contains Ordnance Survey & Royal Mail Data
 © Crown Copyright & Database Right 2011
 EFDC License No: 100018534 2011

Directorate of Environment & Street Scene Civic Offices High Street Epping, Essex, CM16 4BZ Tel. 01992 564000	Project Potential Site for Council House Building Program Drawing No. 201206014 - AN	Content Site B Marlescroft Way Loughton	Date 04/07/12 Scale 1:1250 @ A4 Drawn By Robert Irwin
--	--	--	--

Appendix D

Statutory Services Information

Adam Greenhalgh
Pellings
24 Widmore Road
Bromley
Kent
BR1 1RY

Plant Protection
National Grid
Block 1; Floor 1
Brick Kiln Street
Hinckley
LE10 0NA
E-mail: plantprotection@nationalgrid.com
Telephone: +44 (0)800 688588

National Grid Electricity Emergency Number:
0800 40 40 90*

National Gas Emergency Number:
0800 111 999*

* Available 24 hours, 7 days/week.
Calls may be recorded and monitored.

www.nationalgrid.com

Date: 23/10/2013

Our Ref: NL_TE_Z6_3SW_041933

Your Ref: AG/DH/612.023/02

RE: Proposed Works, IG10 3LZ,site B,marlescroft way,loughton,essex

Thank you for your enquiry which was received on 17/10/2013.

Please note this response and any attached map(s) are valid for 28 days.

An assessment has been carried out with respect to National Grid Electricity Transmission plc's and National Grid Gas plc's apparatus. Please note it does not cover the items listed in the section "Your Responsibilities and Obligations", including gas service pipes and related apparatus.

For details of National Grid's network areas please see the National Grid website (<http://www.nationalgrid.com/uk/Gas/Safety/work/>) or the enclosed documentation.

As your works are at a "proposed" stage, any maps and guidance provided are for information purposes only. This is not approval to commence work. You must submit a "Scheduled Works" enquiry at the earliest opportunity and failure to do this may lead to disruption to your plans and works. National Grid will endeavour to provide an initial assessment within 14 days of receipt of a Scheduled Works enquiry and dependent on the outcome of this, further consultation may be required.

In any event, for safety and legal reasons, works must not be carried out until a Scheduled Works enquiry has been completed and final response received.

Your Responsibilities and Obligations

The "Assessment" Section below outlines the detailed requirements that must be followed when planning or undertaking your scheduled activities at this location.

It is your responsibility to ensure that the information you have submitted is accurate and that all relevant documents including links are provided to all persons (either direct labour or contractors) working for you near National Grid's apparatus, e.g. as contained within the Construction (Design and Management) Regulations.

This assessment solely relates to National Grid Electricity Transmission plc (NGET) and National Grid Gas plc (NGG) apparatus. This assessment does **NOT** include:

- National Grid's legal interest (easements or wayleaves) in the land which restricts activity in proximity to National Grid's assets in private land. You must obtain details of any such restrictions from the landowner in the first instance and if in doubt contact National Grid.
- Gas service pipes and related apparatus
- Recently installed apparatus
- Apparatus owned by other organisations, e.g. other gas distribution operators, local electricity companies, other utilities, etc.

It is **YOUR** responsibility to take into account whether the items listed above may be present and if they could be affected by your proposed activities. Further "Essential Guidance" in respect of these items can be found on the National Grid Website (<http://www.nationalgrid.com/NR/rdonlyres/6D6525F9-59EB-4825-BA89-DBD7E68882C7/51319/EssentialGuidance.pdf>).

This communication does not constitute any formal agreement or consent for any proposed development work; either generally or with regard to National Grid's easements or wayleaves nor any planning or building regulations applications.

NGG and NGET or their agents, servants or contractors do not accept any liability for any losses arising under or in connection with this information. This limit on liability applies to all and any claims in contract, tort (including negligence), misrepresentation (excluding fraudulent misrepresentation), breach of statutory duty or otherwise. This limit on liability does not exclude or restrict liability where prohibited by the law nor does it supersede the express terms of any related agreements.

If you require further assistance please contact the National Grid Plant Protection team via e-mail ([click here](#)) or via the contact details at the top of this response.

Yours faithfully

National Grid Plant Protection Team

ASSESSMENT

Affected Apparatus

The National Grid apparatus that has been identified as being in the vicinity of your proposed works is:

- Low or Medium pressure (below 2 bar) gas pipes and associated equipment. (As a result it is highly likely that there are gas services and associated apparatus in the vicinity)

Requirements

BEFORE carrying out any work you must:

- Carefully read these requirements including the attached guidance documents and maps showing the location of National Grid apparatus.
- Contact the landowner and ensure any proposed works in private land do not infringe National Grid's legal rights (i.e. easements or wayleaves). If the works are in the road or footpath the relevant local authority should be contacted.
- Ensure that all persons, including direct labour and contractors, working for you on or near National Grid's apparatus follow the requirements of the HSE Guidance Notes HSG47 - 'Avoiding Danger from Underground Services' and GS6 - 'Avoidance of danger from overhead electric power lines'. This guidance can be downloaded free of charge at <http://www.hse.gov.uk>
- In line with the above guidance, verify and establish the actual position of mains, pipes, cables, services and other apparatus on site before any activities are undertaken.

GUIDANCE

Excavating Safely - Avoiding injury when working near gas pipes:

http://www.nationalgrid.com/NR/rdonlyres/2D2EEA97-B213-459C-9A26-18361C6E0B0D/25249/Digsafe_leaflet3e2finalamends061207.pdf

Standard Guidance

Essential Guidance document:

<http://www.nationalgrid.com/NR/rdonlyres/6D6525F9-59EB-4825-BA89-DBD7E68882C7/51319/EssentialGuidance.pdf>

General Guidance document:

<http://www.nationalgrid.com/NR/rdonlyres/55C13C4D-A1AA-4B13-BFDA-1CF59F88B326/51318/GeneralGuidance.pdf>

Excavating Safely in the vicinity of gas pipes guidance (Credit card):

<http://www.nationalgrid.com/NR/rdonlyres/A3D37677-6641-476C-9DDA-E89949052829/44257/ExcavatingSafelyCreditCard.pdf>

Excavating Safely in the vicinity of electricity cables guidance (Credit card):

<http://www.nationalgrid.com/NR/rdonlyres/35DDEC6D-D754-4BA5-AF3C-D607D05A25C2/44858/ExcavatingSafelyCreditCardelectricitycables.pdf>

Copies of all the Guidance Documents can also be downloaded from the National Grid Website:

<http://www.nationalgrid.com/uk/Gas/Safety/work/downloads/>

ENQUIRY SUMMARY

Received Date

17/10/2013

Your Reference

AG/DH/612.023/02

Location

Centre Point: 543664, 195608

X Extent: 41

Y Extent: 24

Postcode: IG10 3LZ

Location Description: IG10 3LZ,site B,marlescroft way,loughton,essex

Map Options

Paper Size: A4

Orientation: LANDSCAPE

Requested Scale: 500

Actual Scale: 1:1250 (GAS)

Real World Extents: 361m x 196m (GAS)

Recipients

pprsteam@uk.ngrid.com

Enquirer Details

Organisation Name: Pellings

Contact Name: Adam Greenhalgh

Email Address: bromley@pellings.co.uk

Telephone: 0208 460 9114

Address: 24 Widmore Road, Bromley, Kent, BR1 1RY

Description of Works

MAP FOR INFORMATION PURPOSES

Enquiry Type

Proposed Works


Activity Type



General Excavation

Work Types

Work Type: Plans Only

- 1 Hornbeam Close ✓
- 2 Hornbeam Rd
- 3 Hornbeam House ✓
- 4 Barne House ✓
- 5 Pentlow way ✓
- 6 ~~Steps~~ r/o Loughton Way ✓
- 7 Kirby Close ✓
- 8 Lower Alderton Hall Lane ✓
- 9 Bushfield ✓
- 10 Creakers Road Site B ✓
- 11 Marlescroft Way
- 12 Creakers Road Site A
- 13
- 14
- 15
- 16
- 17
- 18
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- 31

www.5staroffice.com code: 464432 

company no. 425809  

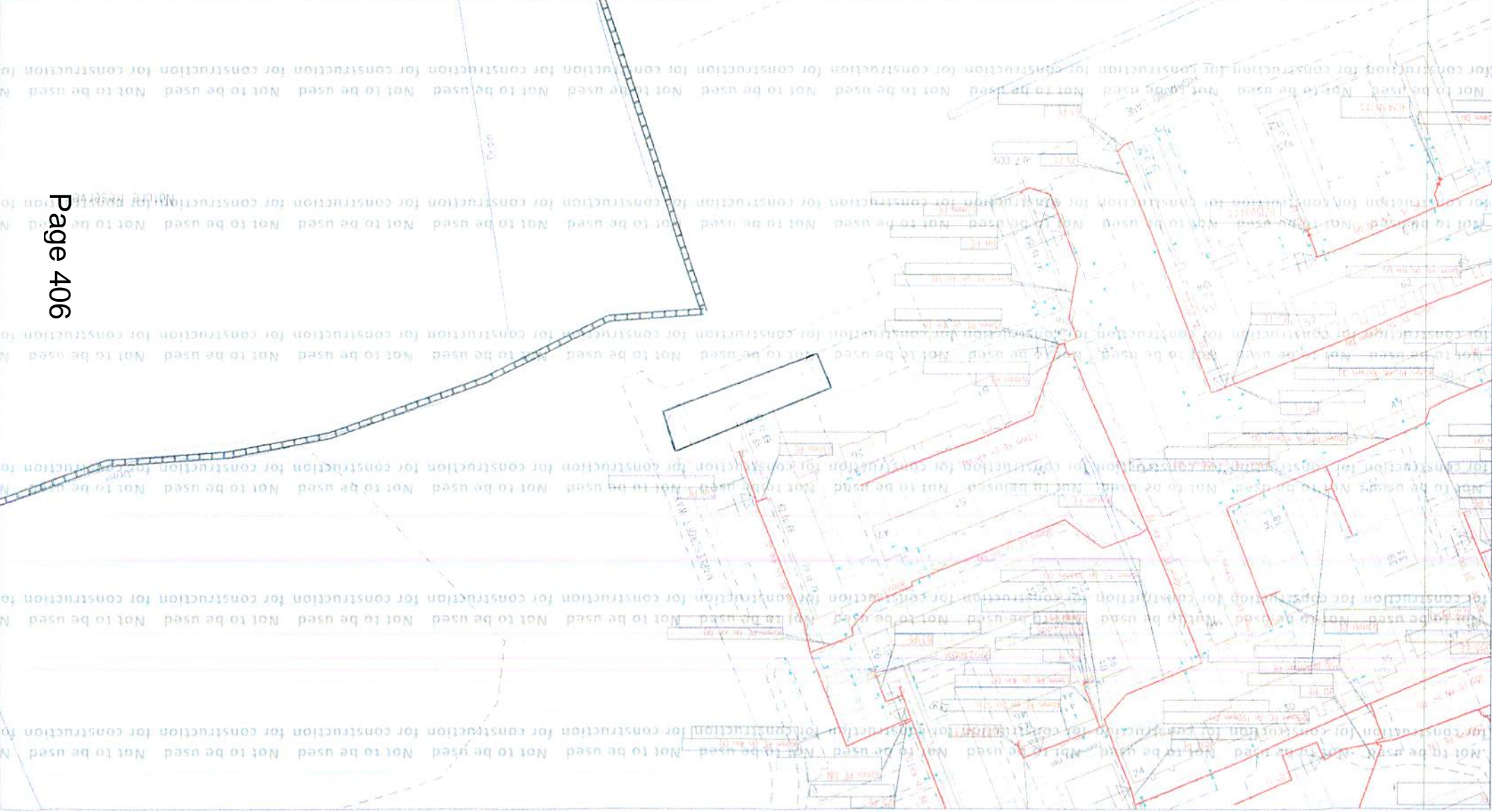
5 018206 096401 >

Valve	Change	Depth of	Syphon	Diameter	Material
Change	Change	Change	Change	Change	Change
MAP REF: TQ4395	Centre: 543664, 195609	View extent: 361m, 196m			
REF: AG/DH/612.023/02	DATE: 15/10/2013	ID: NL_TE_Z6_3SW_041933			
DATE: 23/10/2013	USER: roy.x.jones	LP MAINS			
		MP MAINS			
		IP MAINS			
		LHP MAINS			
		NHP MAINS			
0m 25m Approximate scale 1:1250 on A4 Colour Landscape					

Map not to be used for construction

This plan shows those pipes owned by National Grid Gas plc in its role as a Licensed Gas Transporter (GT). Gas pipes owned by other GTs, or otherwise privately owned, may be present in this area. Information with regard to such pipes should be obtained from the relevant owners. The information shown on this plan is given without warranty, the accuracy thereof cannot be guaranteed. Service pipes, valves, syphons, stub connections, etc, are not shown but their presence should be anticipated. No liability of any kind whatsoever is accepted by National Grid Gas plc or their agents, servants or contractors for any error or omission. Safe digging practices, in accordance with HS(G)47, must be used to verify and establish the actual position of mains, pipes, services and other apparatus on site before any mechanical plant is used. It is your responsibility to ensure that this information is provided to all persons (either direct labour or contractors) working for you on or near gas apparatus. The information included on this plan should not be referred to beyond a period of 28 days from the date of issue.

Map 1 of 1 (GAS)	MAPS Plot Server Version 1.7.6
Requested by: Fellings	
This plan is reproduced from or based on the OS map by National Grid Gas plc, with the sanction of the controller of HM Stationery Office. Crown Copyright Reserved. Ordnance Survey Licence number 100024886	



creating a better place



Adam Greenhalgh
Pellings LLP
24 Widmore Road
Bromley
Kent
BR1 1RY

Our ref: NE/2013/119025/01-L01
Your ref: AG/dh/612.023/05
Date: 5 November 2013

Dear Adam,

Enquiry for proposed development of 'Site B', Marlescroft Way, Loughton.

Thank you for consulting us with details of the above site. In addition to our comments that we have already provided to you for the majority of the sites you consulted us with, this site is also partially in Flood Zone 2 from the nearby River Roding. This will require Epping Forest District Council to undertake a flood risk Sequential Test (ST), and a Flood Risk Assessment (FRA) to be submitted with any planning application.

As discussed above, this site is partially in Flood Zone 2, an area of medium fluvial risk, from the nearby River Roding. Given this, Epping Forest District Council (EFDC) will need to undertake a ST to determine whether there are other available sites that are at a lower risk of flooding, where these sites should be developed before those located in a Flood Zone. Alternatively, you can carry out a ST yourselves with the agreement of – and to the satisfaction of – the EFDC planning case officer. Further details about the requirements of the ST can be found [here: http://www.environment-agency.gov.uk/static/documents/Sequential_test_process_4.pdf](http://www.environment-agency.gov.uk/static/documents/Sequential_test_process_4.pdf).

If the site passes the ST, you should use a sequential approach to site layout to locate all of the built development in the areas of lowest flood risk within the site boundary.

Additionally, an FRA would need to be submitted with any application. Further details about the requirements for an FRA for residential developments in Flood Zone 2 can be found here: http://www.environment-agency.gov.uk/static/documents/Utility/MoreVulnerable_v3.1.pdf.

As the site is in Flood Zone 2 and less than one hectare, we would pass the responsibility for assessing flood risk to EFDC in this case, so the FRA will need to be completed to their satisfaction.

As we are in an area of serious water stress, we endorse the efficient use of water resources. Residential developments such as your proposal should take advantage of water efficient technologies. This is in line with Epping Forest's local policy CP5 which states that the efficient use of water is encouraged through water efficient appliances and rainwater harvesting for example.

Environment Agency
Apollo Court, 2 Bishops Sq Business park, Hatfield, Herts, AL10 9EX.

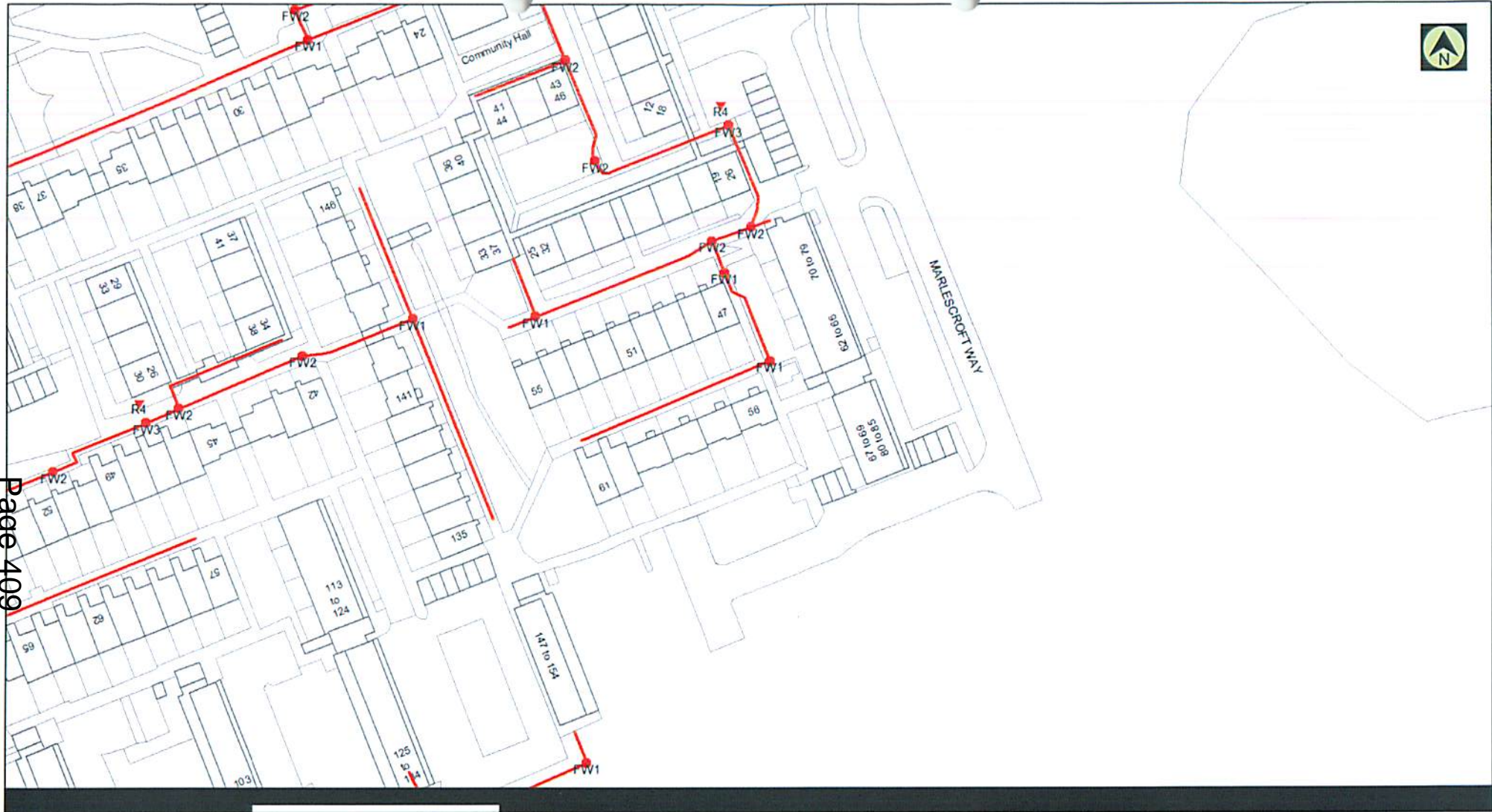
We suggest you use water efficiency measures and aim to achieve 105 litres/person/day. This is equivalent to level 3/4 for water within the Code for Sustainable Homes. Achieving this standard within new homes can be accomplished at very little additional cost, and is significantly cheaper than retrofitting such measures later.

Every opportunity should be taken to maximise Sustainable Drainage Systems (SuDS) such as green roofs, ponds, swales and permeable pavements, to alleviate surface water runoff. I have previously provided a copy of our SuDS guidance, which contains the SuDS hierarchy, to help you with your designs. The methods at the top of the hierarchy are preferred because they are beneficial in terms of sustainability and biodiversity. The hierarchy should be used in descending order. Tanks should only be used as a last resort. Epping Forest's local policy U3B on sustainable drainage systems advocates this approach.

Yours sincerely,

Clark Gordon
Sustainable Places Planning Advisor

Direct dial 01707 632308
E-mail SPHatfield@environment-agency.gov.uk



Page 409

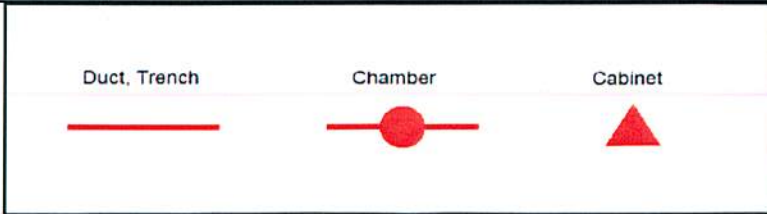
(c) Crown Copyright and database rights 2011 Ordnance Survey 100019209 Date: 24/10/13 Scale: 1:1083 Map Centre: 543635.9,195621.3 Data updated: 25/08/13 Telecoms Plan A4

Important information - please read

The purpose of this plan is to identify Virgin Media apparatus. We have tried to make it as accurate as possible but we cannot warrant its accuracy. In addition, we caution that within Virgin Media apparatus there may be instances where mains voltage power cables have been placed inside green, rather than black ducting. Further details can be found using the 'Affected Postcodes.pdf', which can be downloaded from this website.

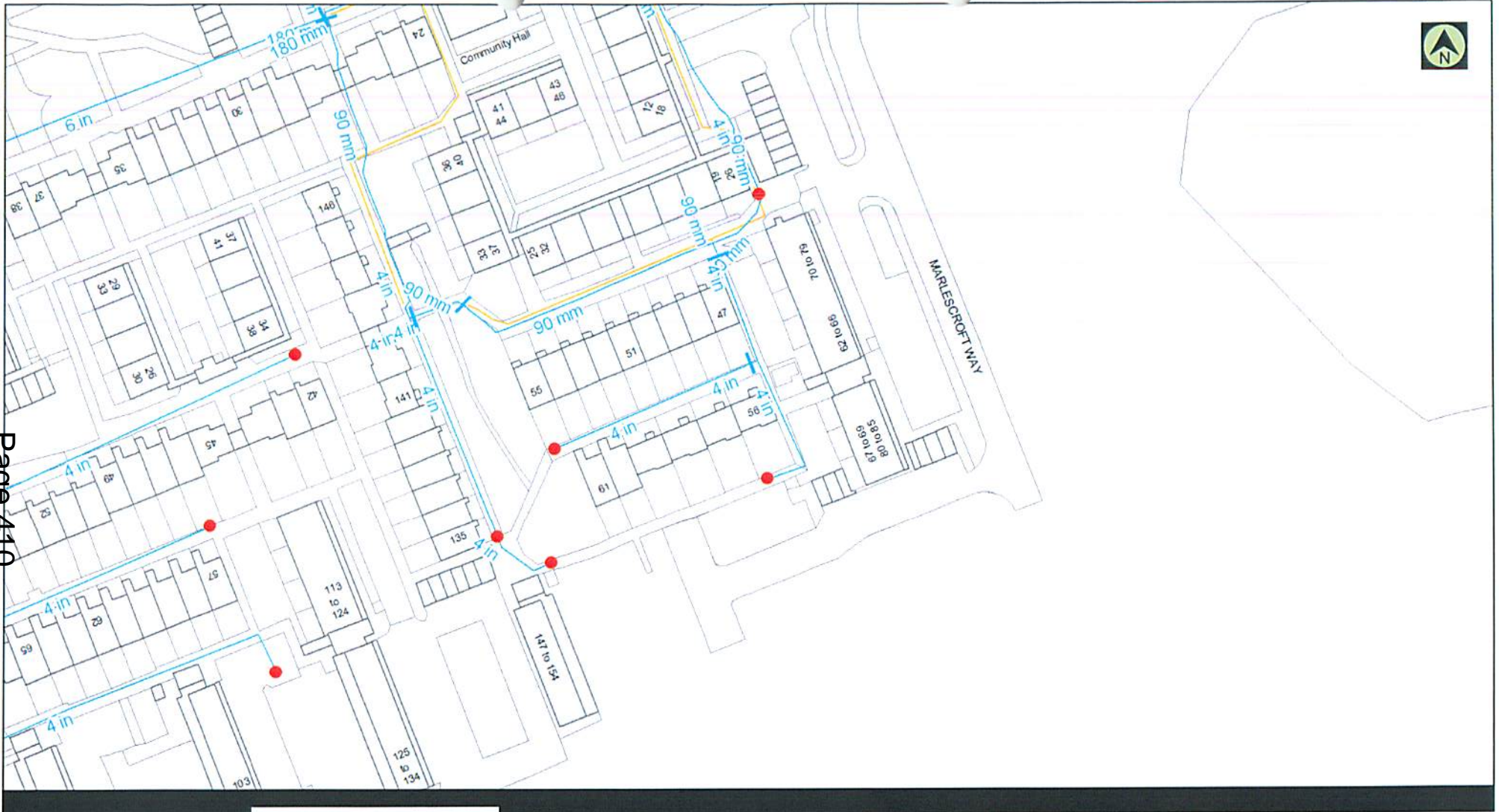
Therefore, you must not rely solely on this plan if you are carrying out any excavation or other works in the vicinity of Virgin Media apparatus. The actual position of any underground service must be verified by cable detection equipment, etc. and established on site before any mechanical plant is used. Accordingly, unless it is due to the negligence of Virgin Media, its employees or agents, Virgin Media will not have any liability for any omissions or inaccuracies in the plan or for any loss or damage caused or arising from the use of and/or any reliance on this plan.

This plan is produced by Virgin Media Limited from Ordnance Survey © Crown Copyright 100019209



agreenhalgh@pellings.co.uk





(c) Crown Copyright and database rights 2012 Ordnance Survey 100019345 Date: 23/10/13 Scale: 1:1083 Map Centre: 543635.9,195621.3 Data updated: 16/08/13 Clean Water Plan A4

Based on the Ordnance Survey Map with the sanction of the Controller of H.M. Stationary Office License Number:- 100019345. This map is to be used for the purposes of viewing the location of Thames Water plant only. Any other uses of the map data or further copies are not permitted. The position of the apparatus shown on this plan is given without obligation and warranty, and the accuracy cannot be guaranteed. This information is valid for the date printed. Service pipes are not shown but their presence should be anticipated. No liability of any kind whatsoever is accepted by Thames Water for any error or omission. The actual position of mains and services must be verified on site before any works are undertaken.

Water Main		Meter	
Private Water		Valve	
Proposed Water		Hydrant	
Abandoned Asset		End Item	

agreenhalgh@pellings.co.uk



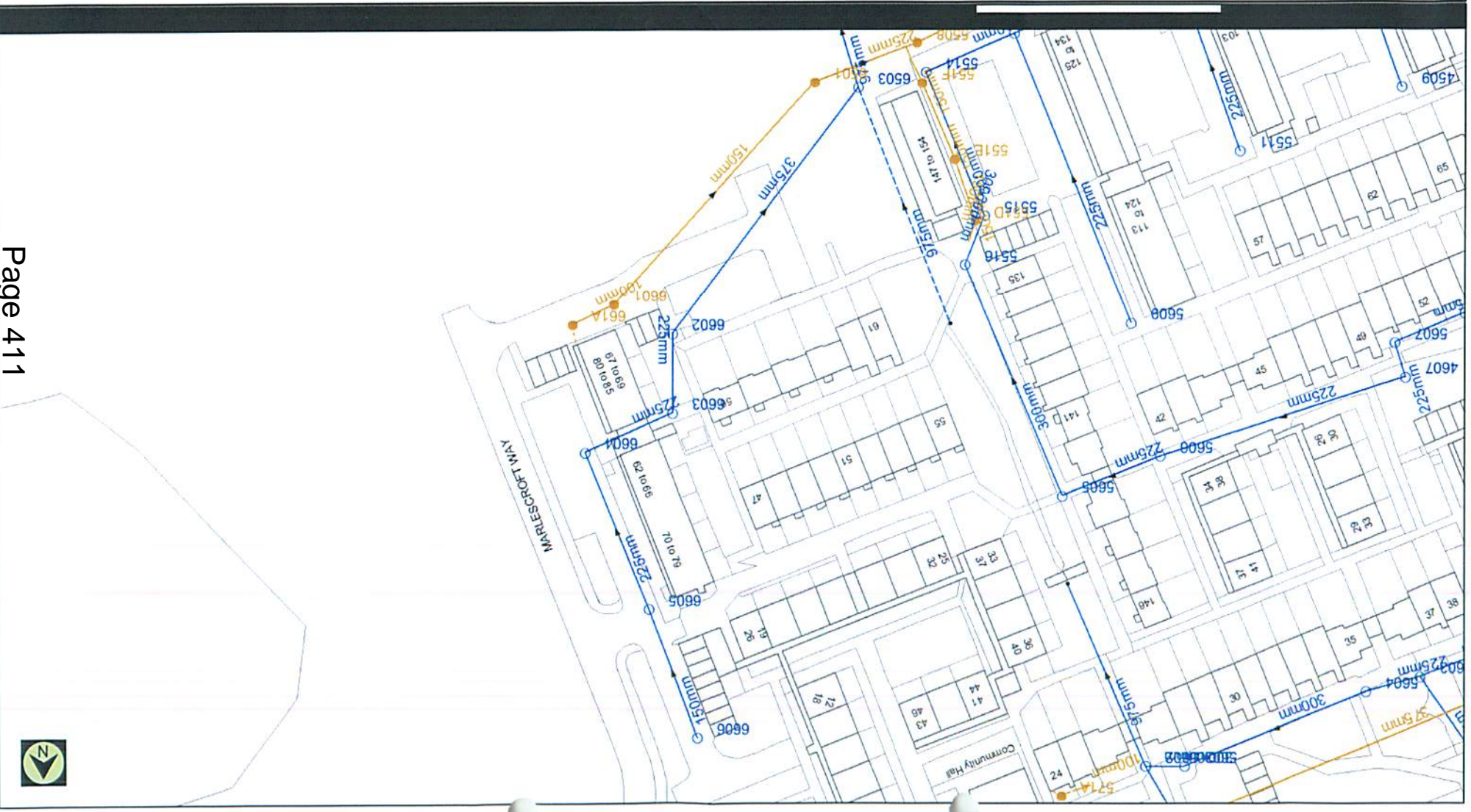


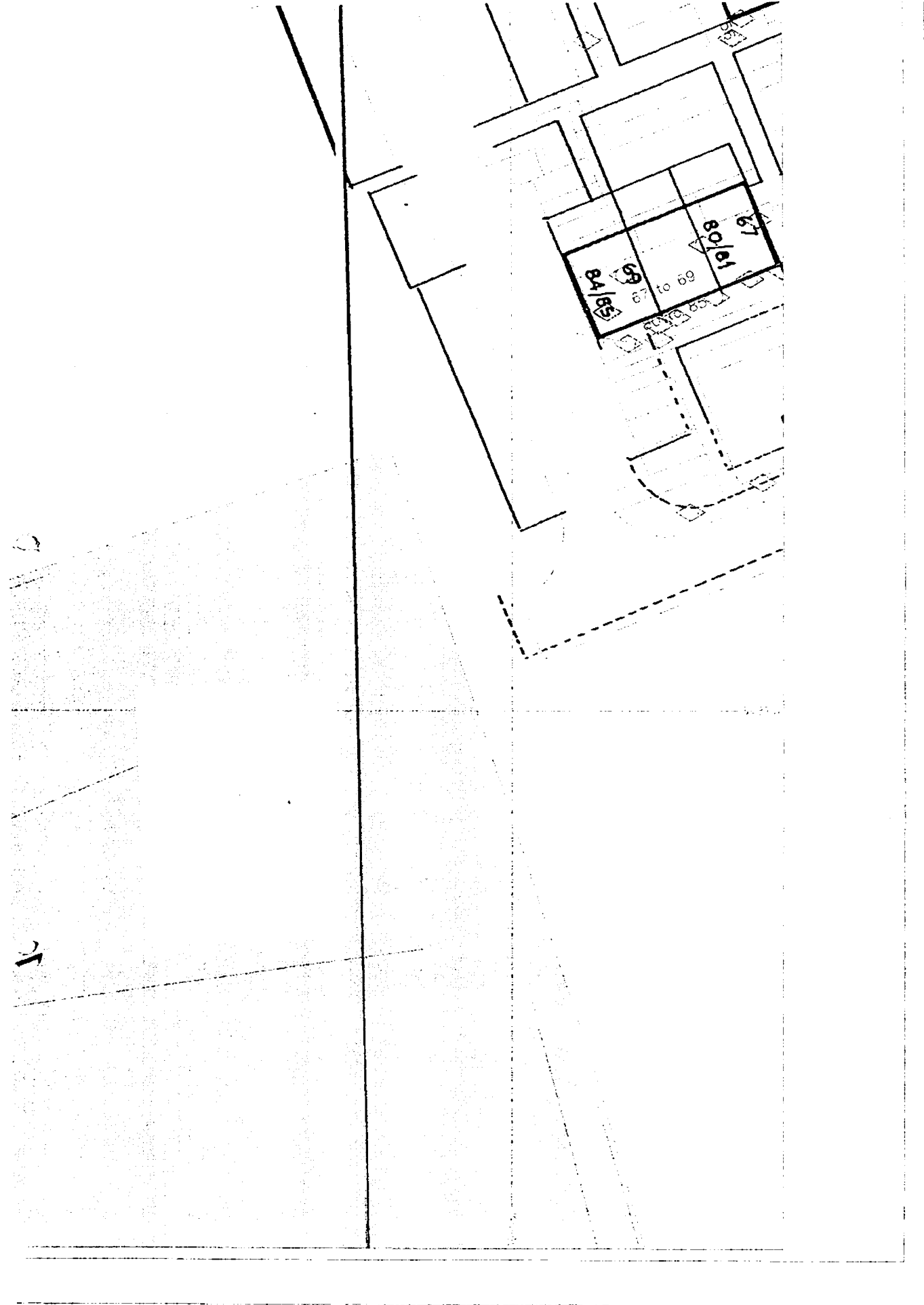
agreenhahgh@pellings.co.uk

	Four Sewer
	Surface Sewer
	Combined Sewer
	Abandoned Sewer
	Pressure Main
	Private Asset (Colour denotes asset type)
	Proposed Asset (Colour denotes asset type)
	S104 Boundary
	End Item
	Other Manhole
	Abandoned Manhole
	Combined Manhole
	Surface Manhole
	Four Manhole

Based on the Ordnance Survey Map with the sanction of the Controller of H.M. Stationary Office License Number:- 100019345. This map is to be used for the purposes of viewing the location of Thames Water plant only. Any other uses of the map data or further copies are not permitted. The position of the apparatus shown on this plan is given without obligation and warranty, and the accuracy cannot be guaranteed. This information is valid for the date printed. Service pipes are not shown but their presence should be anticipated. No liability of any kind whatsoever is accepted by Thames Water for any error or omission. The actual position of mains and services must be verified on site before any works are undertaken.

(c) Crown Copyright and database rights 2012 Ordnance Survey 100019345 Date: 23/10/13 Scale: 1:1083 Map Centre: 543635.9,195621.3 Data updated: 16/08/13 Wastewater Plan A4





Appendix E

Information on Possible Contamination

Information on possible contamination has been forwarded by Epping Forest District Council by way of email of 22nd May 2013, giving information on potential contamination across all the primary sites.

This clarifies possible ground contamination derived from asbestos, made ground, hydrocarbons, petroleum hydrocarbons and the like.

It is likely that any Planning Consent will carry a Condition that all contamination issues are to be remediated.

Accordingly, we recommend that initial site investigation is undertaken for all sites that move forward to Planning Applications.

Appendix F

Cost Build-up

Indicative Estimate of Cost
for East Thames HA

Gross Internal floor area	m2	ft2
Affordable Flat Units	130	1,399
Allowance for communal space @ 20%	26	280
Affordable House Units	0	0
TOTAL GIA	156	1,679

Item	Element	Qty	Unit	Rate £/unit	Total £
1.0 Demolition					
1.1	Demolition	163	m ²	50	8,139
2.2	Site clearance	53	m ²	10	532
1.2	Allowance for removal of asbestos	8	No	800	6,400
	Sub-total			say	20,000
2.0 Affordable Flat units (02 nr. units)					
2.1	Flats Private areas	130	m ²	1,350	176,000
2.2	Flats communal areas (20% allowed)	26	m ²	900	23,000
	Sub-total			say	200,000
3.0 Affordable House units (xx nr. units)					
3.1	House areas	0	m ²	1,250	0
	Sub-total			say	0
4.0 Abnormals / E/o and External Works					
4.1	Private gardens (incl. fencing)	0	m ²	40	0
4.2	Communal Gardens	49	m ²	30	1,000
4.3	Access road, parking and turning	53	m ²	65	3,000
4.4	Pedestrian paving	0	m ²	50	Incl.
4.5	Cross over / highways adaptations	2	item	2,000	4,000
4.6	Allowance for contaminated ground	0	item		Excl.
4.7	Boundary treatment (fencing/walls)	73	m	160	12,000
4.8	Allowance for achieving CfSh Level 3	2	nr	4,500	9,000
	Sub-total			say	30,000
			£/m2	£/ft2	
INDICATIVE CONSTRUCTION COST					250,000
CONTINGENCY @ 5%					10,000
CONTRACTORS DESIGN FEES @ 8%					20,800
PRELIMS AND OVERHEADS AT 15%					37,500
TOTAL INDICATIVE CONSTRUCTION COST					318,300
					2,040

Clarifications and Assumptions

Estimate based on Pellings Feasibility drawings and standard ETG specifications
 GIA is approximate due to early stage of design
 Costs are based on a Q32014 start on site
 Costs are based on a Single Stage Competitive D&B procurement route
 Costs are based on a Contractor 'best programme' contract period
 All units assumed to achieve Code for sustainable Homes Level 3
 It is assumed that a traditional construction (concrete strip foundations, brick/block walls, timber floor structure, sloped tiled roofs) will be used
 Contractors design fees are based upon appointment with planning consent under JCT D&B contract
 Assumed no Party Wall or Rights of Lights issues

Exclusions

Clients professional fees (including statutory fees)
 VAT
 Hazardous material removal
 Excludes any off-site works
 Provision of loose fittings and furnishings
 Costs of compliance of any conditions imposed by TFL or other statutory bodies
 Costs of Section 106, S108, S278 Agreement(s) or Community Infrastructure Levy charges

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**East Thames Housing / Epping Forest District Council
Housing Delivery Programme**

Feasibility Report

Site: 332-353 (Garages) Ladyfields, Loughton IG10 3RP

Rev: A

Ref: IJC/srs/612.023
Date: September 2014

Contents

1. Introduction and Confirmation of Brief
2. Existing Site and Surroundings
3. Proposals
4. Planning Issues and Risks
5. Impact/Implications of Statutory Services
6. Site Access and Buildability Issues
7. Neighbourly Matters and Party Walls
8. Proposed Procurement Route
9. Impact on Parking
10. Legals
11. Costs
12. Recommendations and Conclusions

Appendices

- A: Development Proposals – Drawings 612.023/P2-14A
- B: Site Photographs
- C: Existing Site Plan : 201206014 - AK
- D: Statutory Services Information
- E: Information on Possible Contamination
- F: Cost Build-up

1.0 Introduction and Confirmation of Brief

- 1.1. Pellings LLP are appointed as part of East Thames Group Technical Team in respect of delivery of Development Agent services to Epping Forest District Council for a six year housing delivery programme.
- 1.2. Following initial appraisal by EFDC, 59 sites have been identified as having possible development potential, with a further number of sites in reserve.
- 1.3. Pellings LLP have been instructed to progress feasibility studies to all 59 sites and which will assist in establishing the extent and timing of the overall programme.
- 1.4. Our instructions are in accordance with our fee tender of 13 August 2012, against the previously prepared tender documentation, and email confirmation of 9 April 2013.

2.0 Existing Site and Surroundings

- 2.1. The site is located in a residential part of Loughton 150m to the west of Debden station. It adjoins the embankment of the Central Line.
- 2.2. The site consists of 22 garages and hardstanding and it is accessed by way of two crossovers (one at each end) on to Ladyfields. The rear boundary adjoins the railway embankment of the Central Line (the line being above the level of the site), the eastern side adjoins a grassed area and the western side adjoins a sub-station. The area in general consists of two storey family houses (terraced and semi-detached) with front and rear gardens. There are mature trees on the site and also overhanging the site on the adjoining railway land, and which will need to be recognised in final design.
- 2.3. 'Ladyfield' the road fronting the site was heavily parked at time of our survey.

3.0 Proposals

- 3.1. Read in conjunction with drawings 612.023/P2-14A attached at Appendix A.
- 3.2. The proposals are :

Erection of a 7 x two storey 2 bedroom houses (6 semi-detached and 1 detached) each with gardens. Provision of 14 parking spaces and access/landscaping
- 3.3. Please note that the positions of trees are approximated pending detailed survey information.

4.0 Planning Issues and Risks

Relevant Planning Policies/Considerations

- 4.1. The adopted Development Plan for Epping Forest District Council is the Combined Local Plan 1998 and Local Plan Alterations 2006.
- 4.2. The site is not located in a Conservation Area and it is not designated for any particular purposes in the Epping Forest District Council Combined Local Plan 1998 and Local Plan Alterations 2006. The site does not lie in a Flood Zone on the Environment Agency Flood Map.

- 4.3. There are no specific policies which prevent the loss of existing garages although policy ST4 (Road Safety) states that planning permission will only be granted where there will be no adverse effects on the highway, traffic congestion or harm to the character or appearance of the area. Parking spaces to meet with the Council's standards are proposed for the new dwellings.
- 4.4. It will be necessary to undertake a Parking Survey and to prepare a Transport Statement to demonstrate that the loss of the garages and proposed development would not cause any parking shortfalls or harm to highway conditions or the amenities of the area.
- 4.5. The site is located in the settlement of Loughton and the proposal would be consistent with policy CP7 which encourages the efficient use of existing built-up areas by the 'recycling of vacant, derelict, degraded and under-used land to accommodate the development' and the 're-use of urban sites, which are no longer appropriate to their existing or proposed use in the foreseeable future, for alternative land uses'.
- 4.6. The proposal would comply with policy H4A which states the need for a range of dwellings, including an appropriate proportion of smaller dwellings, to meet identified housing need on a site-by-site basis.
- 4.7. The development of small family homes with rear gardens and private and communal parking would be in keeping with the character and appearance of the area and may comply with Epping Forest's design policies and guidance.

5.0 **Impact/Implications of Statutory Services**

- 5.1. We have undertaken statutory services enquiries to the following:
- Southern Gas
 - Cable and Wireless
 - Virgin Media
 - Thames Water
 - BT
 - National Grid
 - Scottish and Southern Energy
 - Environment Agency
 - UK Power Networks
- 5.2. Responses received to date are from the Environment Agency, National Grid, UK Power Networks, Virgin Media and Thames Water.
- 5.3. The Environment Agency has not pointed out any watercourses which cross the site.
- 5.3.1. National Grid: No apparatus appears to be located on the site.
- 5.3.2. UK Power Networks: There do not appear to be any installations on the site. There are cables under the highway in front of the site, and there is a substation to the Western end but outside of the site boundary.
- 5.3.3. Virgin Media: No apparatus appears to be located on the site.
- 5.4. Thames Water: No drains or sewers are located on any part of the site.

5.5. It should be noted there are a number of responses to enquiries that, at time of preparation of this report, have not yet been received.

6.0 **Site Access and Buildability Issues**

6.1. The site is accessed from existing site roads and there would not appear to be any particular difficulties for the normal level and size of construction traffic associated with a development of this nature.

6.2. Areas should be available for contractor's site set up and accommodation.

6.3. The site is within a primarily residential area and, accordingly, any appointed contractor should use all best endeavours to act in a considerate manner and within normal working hours.

6.4. Further to initial enquiries made to EFDC, some potential contamination issues have been highlighted with use of the domestic garages.

6.5. Possible contaminants in respect of the previous use of the garage site may include asbestos, ash and clinker, hydro-carbons from vehicle maintenance and the like, please see Appendix E.

6.6. Accordingly, suitable site investigation will need to be undertaken ahead of any proposals to take this site forward and specific recommendations made to deal with any contamination found, whether by capping or removal from site.

7.0 **Neighbourly Matters and Party Walls**

7.1. As above, the proposed development site is within a primarily residential area and the appointed contractor should act in a considerate manner. It is proposed that restrictions on working hours, noise levels, requirement for resident liaison and similar matters will be included within contract documentation.

7.2. From proposals on Drawing 612.023/P2-14A, Party Wall matters may be relevant to the existing substation position.

7.3. Such Party Wall matters may be undertaken ahead of the build contract by direct appointment by EFDC, or included as a requirement for the contractor to deal with within the build contract. This later approach, however, would carry increased risk to programme and cost.

8.0 **Proposed Procurement Route**

8.1. It is understood that development works will be procured by way of the East Thames Housing Group existing contractor framework arrangements.

8.2. It is proposed that works shall be procured on a Design and Build basis with the contractors taking forward RIBA Stage D planning consent drawings into detailed design and construction delivery on site.

8.3. Schemes shall be designed to a set of Employer's Requirements to be subsequently confirmed but which substantially shall be formed from existing East Thames Housing Group Design Standards and Employer's Requirement documentation.

8.4. It is proposed that all site preparation works will be included within individual contract packages including any required demolitions, adjustment of statutory services, highways works and boundary maintenance/reinstatement/provision.

- 8.5. On completion of the feasibility studies for the whole programme, further recommendations will be made in terms of how works are packaged to ensure size of work packages are optimised for ensuring maximum economies for East Thames Housing Group and EFDC.
- 8.6. It is considered, at this stage, that this may be by way of a mix of different sized contractors dependent upon the numbers and geographical location of individual works packages.
- 8.7. Works will be administered by Pellings LLP as Employer's Agent acting in accordance with East Thames Housing Group terms of appointment and the overarching requirements of the Development Agency agreement.

9.0 **Impact on Parking**

- 9.1. The Council's currently adopted parking standards are contained within Essex County Council's Parking Standards Design and Good Practice Guide – September 2009. These revised standards were adopted by the Council as statutory planning guidance in February 2012.
- 9.2. Flats and houses have the same parking standard as follows:
- 1 bedroom accommodation – 1 space per dwelling
 - 2 bedroom accommodation and above – 2 spaces per dwelling
 - Visitor parking – 0.25 spaces per dwelling (rounded up to the nearest whole number)
- 9.3. The proposals may be considered to meet the Council's parking standards for new development.
- 9.4. However, should the site move forward to planning application stages, it is recommended that a Transport Statement be undertaken, including parking surveys, to demonstrate that the loss of the garages will not give rise to any planning or highway problems.

10.0 **Legals**

- 10.1. We have been provided with a Summary Report of legal matters from EFDC Solicitors. The report makes reference to the suggested appropriation of land for planning purposes which would extinguish any prior rights of way.
- 10.2. The report makes reference to possible rights of light risk. A blanket policy against such risk might be considered.
- 10.3. It is stated that the site is subject to a Wayleave Agreement between EFDC and NTL for access for maintenance of telecommunications equipment. The impact of this needs to be clarified.
- 10.4. The existing garages form a retaining wall to a bank in front of the railway line. Any works in this area will need to be cleared with the railway owners.

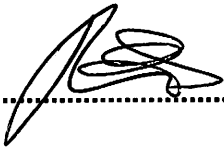
11.0 **Costs**

- 11.1. It is considered that a budget of £1,076,400 should be allowed for this scheme, inclusive of contractor design fees, but exclusive of professional fees and VAT. Please refer to Appendix F.

12.0 **Recommendations and Conclusions**

12.1. Subject to an overall lifetime cost appraisal, we conclude that the site appears to have economic development opportunities and we recommend is considered for taking forward to planning application stage, with a view to incorporating into the overall programme.

Signed:


.....

Pellings LLP

Date: 1st October 2014

Appendix A

Development Proposals

Drawings 612.023/P2-14A



TOTALS
 Site Area 0.159 Ha
 7 x 2 Bed Houses @ 77 sqm
 14 Parking Spaces

NOTES:
 Report all discrepancies, errors and omissions
 Do not scale from this drawing.
 Verify all dimensions on site before commencing any work or preparing shop drawings.
 All materials, components and workmanship are to comply with all the relevant British Standards, Codes of Practice, and appropriate manufacturers recommendations that from time to time shall apply.
 For all specialist work, see relevant drawings.
 This drawing and design are copyright of PELLINGS LLP

PRELIMINARY

Page 425

Rev	Date	Description	Name
-	-/-/-		



Pellings LLP 24 Widmore Road Bromley Kent BR1 1RY t 020 8460 9114 f 020 8313 0019 e bromley@pellings.co.uk www.pellings.co.uk		Architecture & Planning ■ Building Surveying ■ Project Management ■ Cost Consultancy ■ CDM Co-ordination			
CLIENT	East Thames HA	PROJECT	EFDC House Building Programme		
TITLE	Existing and Proposed Plans Ladyfields	DATE	NOV 2013	SCALE	1:500 @A3
		DRAWN	NP	CHK	
		DRAWING No	612 023 P2-14 A		

Appendix B

Site Photographs

Appendix B - Site Photographs

1.



2.



3.



4.



5.

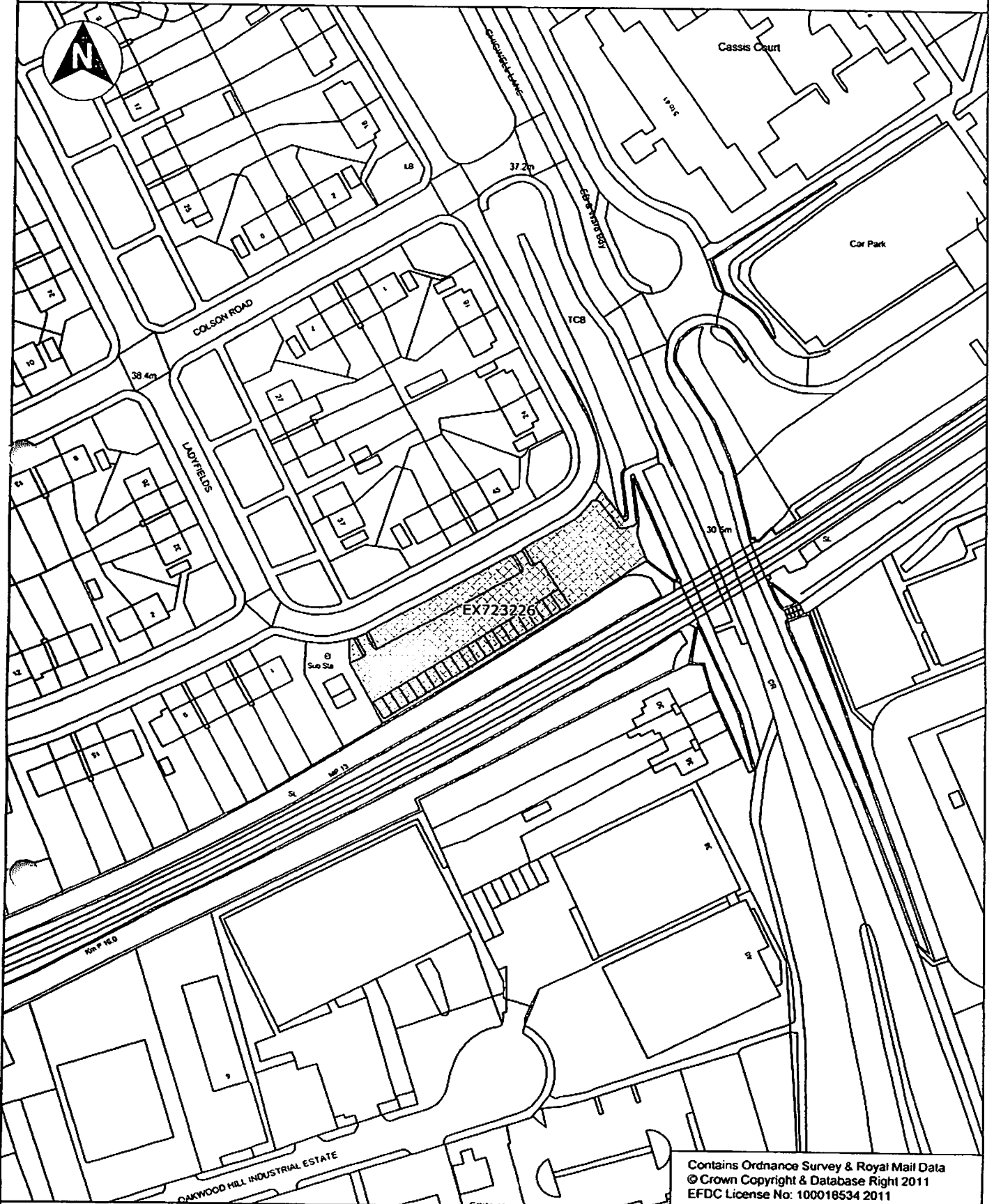


6.



Appendix C

Existing Site Plan



Contains Ordnance Survey & Royal Mail Data
 © Crown Copyright & Database Right 2011
 EFDC License No: 100018534 2011

Directorate of Environment & Street Scene
 Civic Offices
 High Street
 Epping, Essex,
 CM16 4BZ
 Tel. 01992 564000

Project
 Potential Site for Council House
 Building Program
 Drawing No.
 201206014 - AK

Content
 Ladyfields
 Loughton

Date
 04/07/12
 Scale
 1:1250 @ A4
 Drawn By
 Robert Irwin

Appendix D

Statutory Services Information



Adam Greenhalgh
Pellings
24 Widmore Road
Bromley
Kent
BR1 1RY

Plant Protection
National Grid
Block 1; Floor 1
Brick Kiln Street
Hinckley
LE10 0NA
E-mail: plantprotection@nationalgrid.com
Telephone: +44 (0)800 688588

National Grid Electricity Emergency Number:
0800 40 40 90*

National Gas Emergency Number:
0800 111 999*

* Available 24 hours, 7 days/week.
Calls may be recorded and monitored.

www.nationalgrid.com

Date: 24/10/2013
Our Ref: NL_TE_Z6_3SW_042150
Your Ref: LADYFIELDS

RE: Proposed Works, IG10 3RT,ladyfields.loughton,essex

Thank you for your enquiry which was received on 17/10/2013.

Please note this response and any attached map(s) are valid for 28 days.

An assessment has been carried out with respect to National Grid Electricity Transmission plc's and National Grid Gas plc's apparatus. Please note it does not cover the items listed in the section "Your Responsibilities and Obligations", including gas service pipes and related apparatus.

For details of National Grid's network areas please see the National Grid website (<http://www.nationalgrid.com/uk/Gas/Safety/work/>) or the enclosed documentation.

As your works are at a "proposed" stage, any maps and guidance provided are for information purposes only. This is not approval to commence work. You must submit a "Scheduled Works" enquiry at the earliest opportunity and failure to do this may lead to disruption to your plans and works. National Grid will endeavour to provide an initial assessment within 14 days of receipt of a Scheduled Works enquiry and dependent on the outcome of this, further consultation may be required.

In any event, for safety and legal reasons, works must not be carried out until a Scheduled Works enquiry has been completed and final response received.

Your Responsibilities and Obligations

The "Assessment" Section below outlines the detailed requirements that must be followed when planning or undertaking your scheduled activities at this location.

It is your responsibility to ensure that the information you have submitted is accurate and that all relevant documents including links are provided to all persons (either direct labour or contractors) working for you near National Grid's apparatus, e.g. as contained within the Construction (Design and Management) Regulations.

This assessment solely relates to National Grid Electricity Transmission plc (NGET) and National Grid Gas plc (NGG) apparatus. This assessment does **NOT** include:

- National Grid's legal interest (easements or wayleaves) in the land which restricts activity in proximity to National Grid's assets in private land. You must obtain details of any such restrictions from the landowner in the first instance and if in doubt contact National Grid.
- Gas service pipes and related apparatus
- Recently installed apparatus
- Apparatus owned by other organisations, e.g. other gas distribution operators, local electricity companies, other utilities, etc.

It is **YOUR** responsibility to take into account whether the items listed above may be present and if they could be affected by your proposed activities. Further "Essential Guidance" in respect of these items can be found on the National Grid Website (<http://www.nationalgrid.com/NR/rdonlyres/6D6525F9-59EB-4825-BA89-DBD7E68882C7/51319/EssentialGuidance.pdf>).

This communication does not constitute any formal agreement or consent for any proposed development work; either generally or with regard to National Grid's easements or wayleaves nor any planning or building regulations applications.

NGG and NGET or their agents, servants or contractors do not accept any liability for any losses arising under or in connection with this information. This limit on liability applies to all and any claims in contract, tort (including negligence), misrepresentation (excluding fraudulent misrepresentation), breach of statutory duty or otherwise. This limit on liability does not exclude or restrict liability where prohibited by the law nor does it supersede the express terms of any related agreements.

If you require further assistance please contact the National Grid Plant Protection team via e-mail ([click here](#)) or via the contact details at the top of this response.

Yours faithfully

National Grid Plant Protection Team

ASSESSMENT

Affected Apparatus

The National Grid apparatus that has been identified as being in the vicinity of your proposed works is:

- Low or Medium pressure (below 2 bar) gas pipes and associated equipment. (As a result it is highly likely that there are gas services and associated apparatus in the vicinity)

Requirements

BEFORE carrying out any work you must:

- Carefully read these requirements including the attached guidance documents and maps showing the location of National Grid apparatus.
- Contact the landowner and ensure any proposed works in private land do not infringe National Grid's legal rights (i.e. easements or wayleaves). If the works are in the road or footpath the relevant local authority should be contacted.
- Ensure that all persons, including direct labour and contractors, working for you on or near National Grid's apparatus follow the requirements of the HSE Guidance Notes HSG47 - 'Avoiding Danger from Underground Services' and GS6 – 'Avoidance of danger from overhead electric power lines'. This guidance can be downloaded free of charge at <http://www.hse.gov.uk>
- In line with the above guidance, verify and establish the actual position of mains, pipes, cables, services and other apparatus on site before any activities are undertaken.

GUIDANCE

Excavating Safely - Avoiding injury when working near gas pipes:

http://www.nationalgrid.com/NR/rdonlyres/2D2EEA97-B213-459C-9A26-18361C6E0B0D/25249/Digsafe_leaflet3e2finalamends061207.pdf

Standard Guidance

Essential Guidance document:

<http://www.nationalgrid.com/NR/rdonlyres/6D6525F9-59EB-4825-BA89-DBD7E68882C7/51319/EssentialGuidance.pdf>

General Guidance document:

<http://www.nationalgrid.com/NR/rdonlyres/55C13C4D-A1AA-4B13-BFDA-1CF59F88B326/51318/GeneralGuidance.pdf>

Excavating Safely in the vicinity of gas pipes guidance (Credit card):

<http://www.nationalgrid.com/NR/rdonlyres/A3D37677-6641-476C-9DDA-E89949052829/44257/ExcavatingSafelyCreditCard.pdf>

Excavating Safely in the vicinity of electricity cables guidance (Credit card):

<http://www.nationalgrid.com/NR/rdonlyres/35DDEC6D-D754-4BA5-AF3C-D607D05A25C2/44858/ExcavatingSafelyCreditCardelectricitycables.pdf>

Copies of all the Guidance Documents can also be downloaded from the National Grid Website:

<http://www.nationalgrid.com/uk/Gas/Safety/work/downloads/>

ENQUIRY SUMMARY

Received Date

17/10/2013

Your Reference

LADYFIELDS

Location

Centre Point: 544125, 196047

X Extent: 73

Y Extent: 59

Postcode: IG10 3RT

Location Description: IG10 3RT,ladyfields.loughton,essex

Map Options

Paper Size: A4

Orientation: LANDSCAPE

Requested Scale: 500

Actual Scale: 1:1250 (GAS)

Real World Extents: 361m x 196m (GAS)

Recipients

pprsteam@uk.ngrid.com

Enquirer Details

Organisation Name: Pellings

Contact Name: Adam Greenhalgh

Email Address: bromley@pellings.co.uk

Telephone: 0208 460 9114

Address: 24 Widmore Road, Bromley, Kent, BR1 1RY

Description of Works

MAP FOR INFORMATION PURPOSES

Enquiry Type

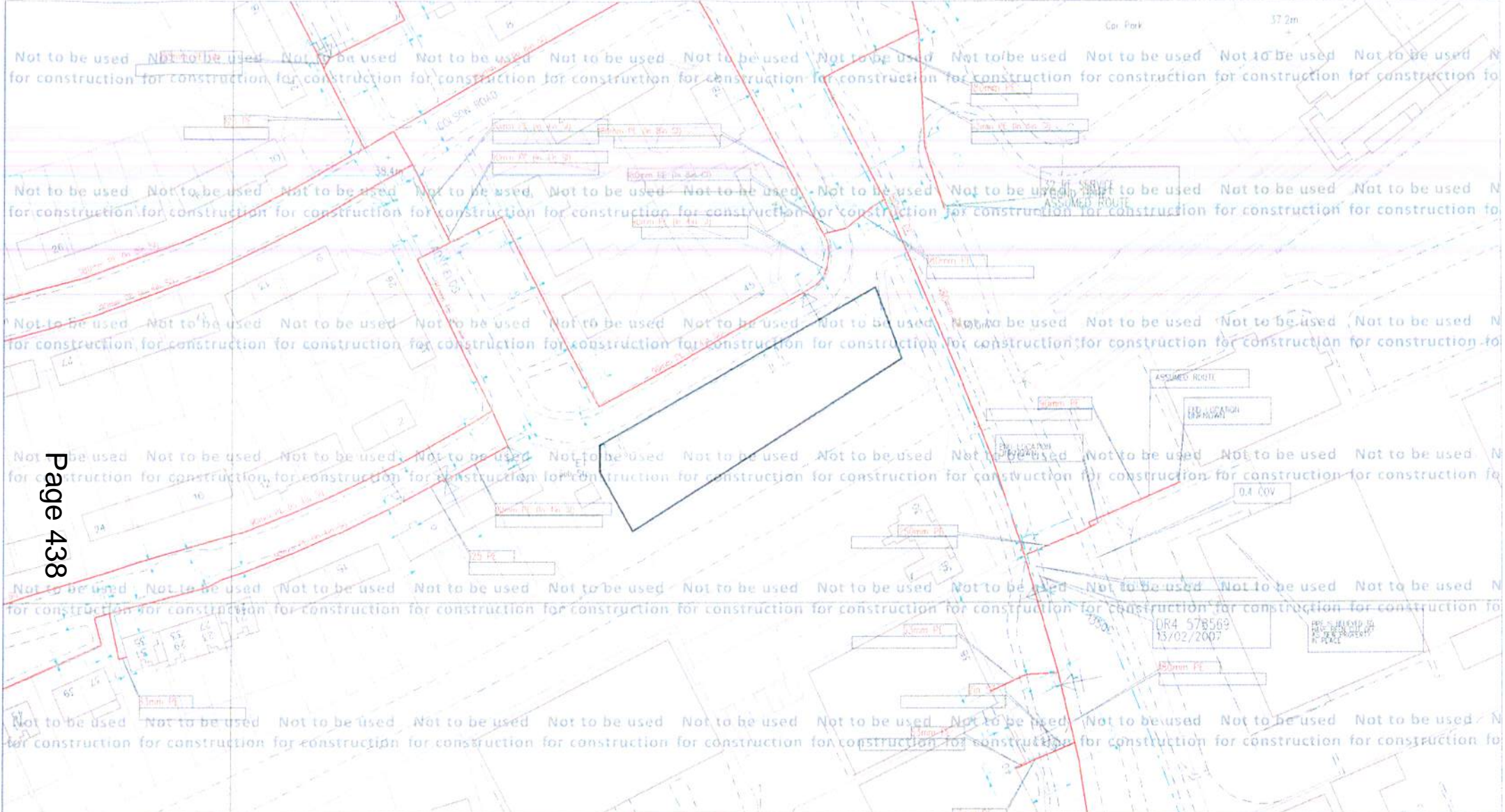
Proposed Works

Activity Type

General Excavation

Work Types

Work Type: Plans Only



Page 438

ID: NL_TE_Z6_3SW_042150
 USER: roy.x.jones
 DATE: 24/10/2013
 DATA DATE: 15/10/2013
 REF: LADYFIELDS
 MAP REF: TQ4496
 CENTRE: 544125, 196047

View extent: 361m, 196m

LP MAINS	
MP MAINS	
IP MAINS	
LHP MAINS	
NHP MAINS	

0m 25m
 Approximate scale 1:1250
 on A4 Colour Landscape

Map not to be used for construction

This plan shows those pipes owned by National Grid Gas plc in its role as a Licensed Gas Transporter (GT). Gas pipes owned by other GTs, or otherwise privately owned, may be present in this area. Information with regard to such pipes should be obtained from the relevant owners. The information shown on this plan is given without warranty, the accuracy thereof cannot be guaranteed. Service pipes, valves, syphons, stub connections, etc., are not shown but their presence should be anticipated. No liability of any kind whatsoever is accepted by National Grid Gas plc or their agents, servants or contractors for any error or omission. Safe digging practices, in accordance with HS(G)47, must be used to verify and establish the actual position of mains, pipes, services and other apparatus on site before any mechanical plant is used. It is your responsibility to ensure that this information is provided to all persons (either direct labour or contractors) working for you on or near gas apparatus. The information included on this plan should not be referred to beyond a period of 28 days from the date of issue.

Valve	Depth of Cover	Syphon	Diameter Change	Material Change
-------	----------------	--------	-----------------	-----------------

Map 1 of 1 (GAS)

MAPS Plot Server Version 1.7.6

Requested by: Pellings

This plan is reproduced from or based on the OS map by National Grid Gas plc, with the sanction of the controller of HM Stationery Office.
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 Licence number 100024886



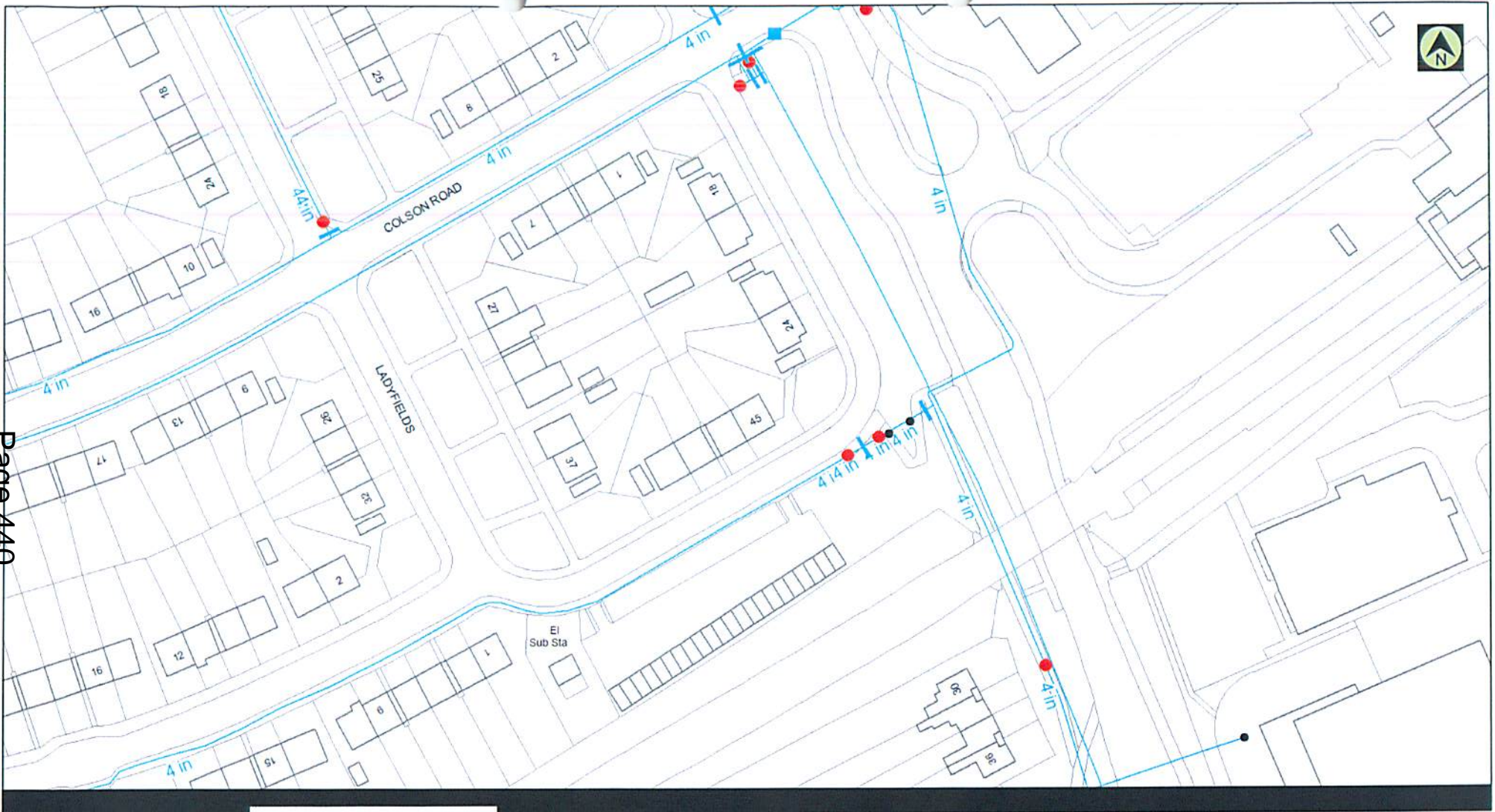
(c) Crown Copyright and database rights 2011 Ordnance Survey 100019209 Date: 24/10/13 Scale: 1:1083 Map Centre: 544122.4,196078 Data updated: 25/08/13 Telecoms Plan A4



agreenhalgh@pellings.co.uk

Duct, Trench	
Chamber	
Cabinet	

Important Information - please read:
 The purpose of this plan is to identify Virgin Media apparatus. We have tried to make it as accurate as possible but we cannot guarantee that all apparatus is shown. Apparatus that we have not shown may be present where our voltage power cables have been placed (red/green, rather than black ducting). Further details can be found using the Attached 'Pocodes.pdf', which can be downloaded from the website.
 Therefore, you must not rely solely on this plan if you are carrying out any excavation or other works in the vicinity of Virgin Media apparatus. The actual position of any underground service must be verified by cable detection equipment, etc. and established on site before any mechanical plant is used. Accordingly, unless it is due to the negligence of Virgin Media, its employees or contractors, we will not be liable for any damage or interference or for any loss or damage (including or arising from the use of) any reliance on this plan.
 This plan is produced by Virgin Media Limited from Ordnance Survey © Crown Copyright 100019209



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Based on the Ordnance Survey Map with the sanction of the Controller of H.M. Stationary Office License Number:- 100019345. This map is to be used for the purposes of viewing the location of Thames Water plant only. Any other uses of the map data or further copies are not permitted. The position of the apparatus shown on this plan is given without obligation and warranty, and the accuracy cannot be guaranteed. This information is valid for the date printed. Service pipes are not shown but their presence should be anticipated. No liability of any kind whatsoever is accepted by Thames Water for any error or omission. The actual position of mains and services must be verified on site before any works are undertaken.

Water Main		Meter	
Private Water		Valve	
Proposed Water		Hydrant	
Abandoned Asset		End Item	

agreenhalgh@pellings.co.uk





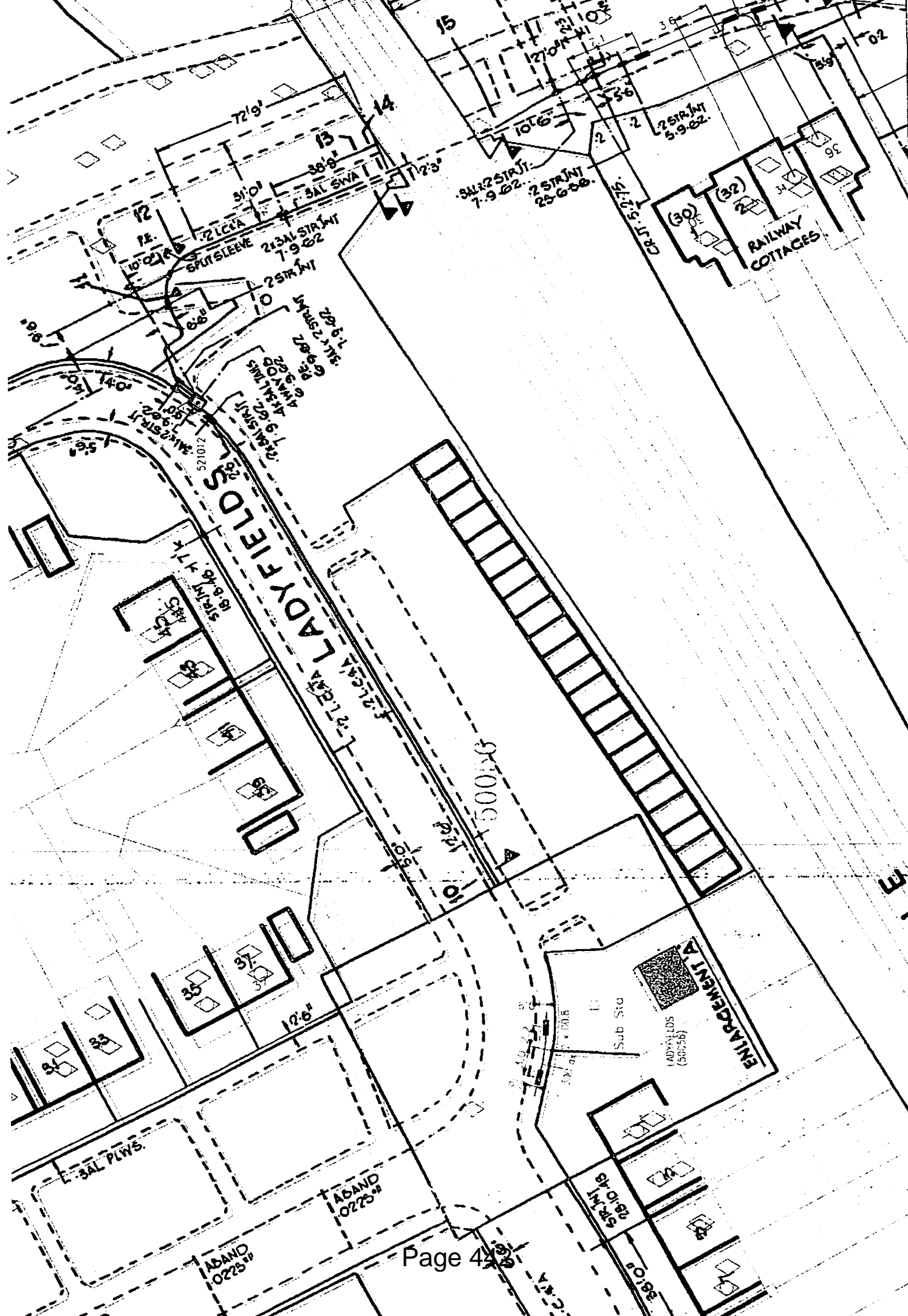
(c) Crown Copyright and database rights 2012 Ordnance Survey 100019345 Date: 23/10/13 Scale: 1:1083 Map Centre: 544122.4, 196078 Data updated: 16/08/13 Wastewater Plan A4



agreenhalgh@pellings.co.uk

	Foul Manhole
	Surface Manhole
	Combined Manhole
	Abandoned Manhole
	Other Manhole
	End Item
	S104 Boundary
	Foul Sewer
	Surface Sewer
	Combined Sewer
	Abandoned Sewer
	Pressure Main
	Private Access (Colour denotes effort type)
	Proposed Asset (Colour denotes effort type)

Based on the Ordnance Survey Map with the sanction of the Controller of H.M. Stationary Office License Number:- 100019345. This map is to be used for the purposes of viewing the location of Thames Water plant only. Any other uses of the map data or further copies are not permitted. The position of the apparatus shown on this plan is given without obligation and warranty, and the accuracy cannot be guaranteed. This information is valid for the date printed. Service pipes are not shown but their presence should be anticipated. No liability of any kind whatsoever is accepted by Thames Water for any error or omission. The actual position of mains and services must be verified on site before any works are undertaken.



Appendix E

Information on Possible Contamination

Information on possible contamination has been forwarded by Epping Forest District Council by way of email of 22nd May 2013, giving information on potential contamination across all the primary sites.

This clarifies possible ground contamination derived from asbestos, made ground, hydrocarbons, petroleum hydrocarbons and the like.

It is likely that any Planning Consent will carry a Condition that all contamination issues are to be remediated.

Accordingly, we recommend that initial site investigation is undertaken for all sites that move forward to Planning Applications.

Appendix F

Cost Build-up

Ladyfields, Epping Forest
 Indicative Estimate of Cost
 for East Thames HA



Friday, 6 December 13

Gross Internal floor area	m2	ft2
Affordable Flat Units	0	0
Allowance for communal space @ 20%	0	0
Affordable House Units	539	5,802
TOTAL GIA	539	5,802

Item	Element	Qty Unit	Rate £/unit	Total £
1.0 Demolition				
1.1	Demolition	260 m ²	50	13,022
2.2	Site clearance	1,276 m ²	10	12,756
1.2	Allowance for removal of asbestos	22 Per roof	1,000	22,000
	Sub-total		say	50,000
2.0 Affordable Flat units (xx nr. units)				
2.1	Flats Private areas	0 m ²	1,350	0
2.2	Flats communal areas (20% allowed)	0 m ²	900	0
	Sub-total		say	0
3.0 Affordable House units (07 nr. units)				
3.1	House areas	539 m ²	1,250	674,000
	Sub-total		say	670,000
4.0 Abnormals / E/o and External Works				
4.1	Private gardens (incl. fencing)	727 m ²	40	29,000
4.2	Communal Gardens	251 m ²	30	8,000
4.3	Access road, parking and turning	151 m ²	65	10,000
4.4	Pedestrian paving	0 m ²	50	Incl.
4.5	Cross over / highways adaptations	7 item	2,000	14,000
4.6	Allowance for contaminated ground	0 item		Excl.
4.7	Boundary treatment (fencing/walls)	193 m	160	31,000
4.8	Allowance for achieving CfSh Level 3	7 nr	4,500	32,000
	Sub-total		say	120,000
			£/m2	£/ft2
	INDICATIVE CONSTRUCTION COST			840,000
	CONTINGENCY @ 5%			40,000
	CONTRACTORS DESIGN FEES @ 8%			70,400
	PRELIMS AND OVERHEADS AT 15%			126,000
	TOTAL INDICATIVE CONSTRUCTION COST		1,997	1,076,400

Clarifications and Assumptions

Estimate based on Pellings Feasibility drawings and standard ETG specifications

GIA is approximate due to early stage of design

Costs are based on a Q3 2014 start on site

Costs are based on a Single Stage Competitive D&B procurement route

Costs are based on a Contractor 'best programme' contract period

All units assumed to achieve Code for sustainable Homes Level 3

It is assumed that a traditional construction (concrete strip foundations, brick/block walls, timber floor structure, sloped tiled roofs) will be used

Contractors design fees are based upon appointment with planning consent under JCT D&B contract

Assumed no Party Wall or Rights of Lights issues

Exclusions

Clients professional fees (including statutory fees)

VAT

Asbestos (except removal of low risk asbestos roofs priced above) and hazardous material removal

Excludes any off-site works

Provision of loose fittings and furnishings

Costs of compliance of any conditions imposed by TFL or other statutory bodies

Costs of Section 106, S108, S278 Agreement(s) or Community Infrastructure Levy charges

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